

McINTOSH PERRY

July 17, 2023

CAP REIT
11 Church Street, Suite 401
Toronto, Ontario
M5E 1W1

Attention: Ms. Tonia Kagiannis
Senior Director, Procurement & Ancillary

Re: 1021 4th Avenue
New Westminster, British Columbia
Balcony Repairs
Change Order 1 - CO#1 **PO 8502340**
Our Reference No: CCC-224718-22

Please see the attached bid form and detail drawings which represents a change in the scope of work for balcony repairs at 8 corner balconies and 2 concrete balconies at 1021 4th Avenue, New Westminster, BC.

Existing Contract Value Sub-total:	\$74,800.00
Additional cost – CO#1	\$274,600.00
New Contract Value Sub-total:	\$349,400.00
5% GST:	\$17,470.00
Contract Total:	\$366,870.00

The above changes require a change order to the existing revised contract. Drawings and costs breakdown are viewable in the attached documents. Personnel with McIntosh Perry have reviewed the submitted cost increases accordingly.

Yours truly,



Doru Cornescu
Director, Western Canada
d.cornescu@mcintoshperry.com

Authorized by:

CAPREIT Limited Partnership

Name: Nick Savino Title: VP, Operations Services

Signature:  Date: July 17, 2023

1.1 APPENDIX C – EXTERIOR WALL AND BALCONY REPAIRS

The following are our prices for the work listed hereunder.

Item No.	1021 4 th Ave, New Westminster, BC Description	Unit	Estimated Quantity	Unit Price	Amount
	Corner Balcony Areas – 8				
1.	Remove the existing balcony vinyl clad parapets and dispose of all material and debris.	Square meter	160	\$ 200	\$ 32,000
2.	Remove existing balcony soffits at all work areas (some already removed). Supply and install new aluminum soffit assembly at all balconies following completion of repairs.	Square meter	120	\$ 300	\$ 36,000
3.	Remove the existing vinyl membrane material on the top surface of all the balcony decks down to the underlying wood sheathing and framing. This work shall include the removal of all perimeter sealants and metal flashings that adjoin the exterior wall assemblies. Supply and install new waterproofing membrane over the balcony decks including all preparation of existing and newly installed sheathing, upturns and all sealants including cants. Membrane applicator must be qualified and approved by Manufacturer.	Square meter	120	\$ 400	\$ 48,000
4.	Remove the existing sheathing board on the top surface of all balcony decks down to the underlying wood framing. Replace sheathing board forming part of balcony decks where directed by the Consultant. New sheathing shall be marine grade plywood, no less than 5/8" in thickness.	Square meter	120	\$ 300	\$ 36,000
5.	Remove and replace rim joists on the existing balcony assemblies, a dual 2 x 10 rim joist is required, this work shall include the supply and install of a new metal drip flashing over the edge of the balcony and shall include installation of painted fascia. This work shall include the cutting of the existing joists as required to facilitate the rim joist installation.	Linear meter	160	\$ 300	\$ 48,000
6	Remove and replace deteriorated wood joist framing forming part of the balcony areas. This work assumes a (2x10) section joist is to	Linear meter	100	\$ 200	\$ 20,000

PAINTING – SECTION 09 91 00

Item No.	1021 4 th Ave, New Westminster, BC Description	Unit	Estimated Quantity	Unit Price	Amount
	be cut and double sistered, and includes all fasteners and through bolts, including Simpson Strong Tie joist hangers.				
7.	Install a new face-mounted (wood decks) and top-mounted (concrete decks) aluminum post and picket railing assembly across the balcony including all fasteners and through bolt connections, following completion of the deck repairs detailed above, where the existing balcony railing has been removed.	Linear meter	100	\$ 600	\$ 60,000
8.	Grind surface of suspended concrete slabs forming the balconies at the first floor along the north elevation to remove existing liquid applied membrane.	Square meter	22	\$ 200	\$ 4,400
9.	Repair concrete delamination/spalling at suspended concrete slabs forming the balconies on the first floor along west and north elevations. Minor top surface are included up to 20mm depth.	Square meter	24	\$ 250	\$ 6,000
10.	Prepare surface of suspended concrete slab above garage for application of new liquid waterproofing membrane. Apply new liquid waterproofing membrane.	Square meter	24	\$ 150	\$ 3,600
Exterior Walls					
11.	Remove stucco cladding up 12", upturn deck membrane 12", and installation of Hardie siding with rainscreen system. 24ga drip-edge flashing to be installed at top of Hardie siding.	Linear meter	50	\$ 100	\$5,000
12.	Repair stucco cladding at balcony saddles after balcony repair work.	Square meter	50	\$ 200	\$ 10,000
13.	Install 6"x6" support posts at all corner balconies. Installation at Unit 112 must be done with support on the ground. Remove and reinstate the CMU parapet to accommodate installation of post.	Each	8	\$ 1,300	\$ 10,400
14.	Mobilization/Demobilization of personnel and equipment on site, (general mobilization of all four sites)	Lump sum	N/A	N/A	\$ 20,000
15.	Cost of a building permit if required by the local authority, excluding the soft costs associated with obtaining the permit	Cash allowance	N/A	N/A	\$10,000.00

Sub-Total \$ 349,400

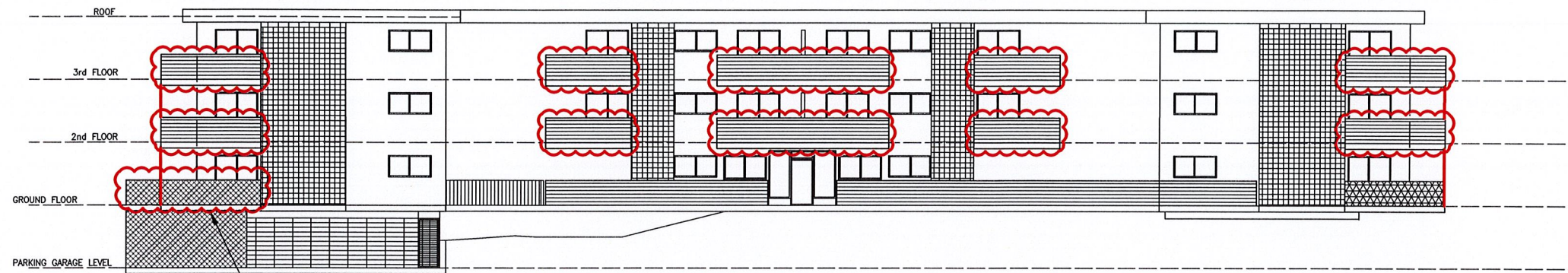
Item No.	1021 4 th Ave, New Westminster, BC Description	Unit	Estimated Quantity	Unit Price	Amount
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G.S.T. (5%) \$ 17,470

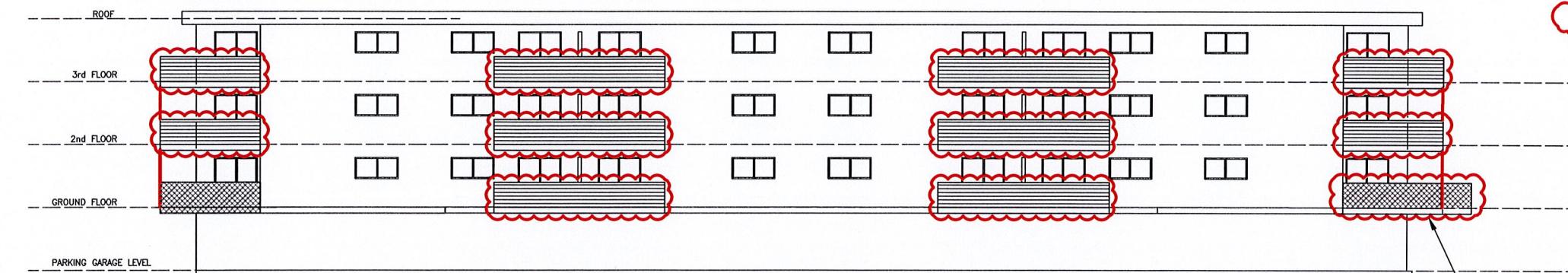
Grand Total
(to be shown on Page 1 of Bid Form) \$ 366,8703

Note:

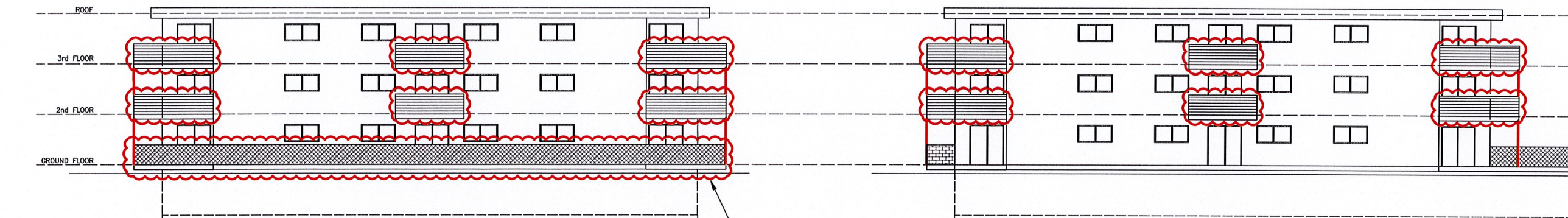
1. The quoted price includes the specified cost, overhead, profit and any applicable taxes in force at the date of tender, with the exception of the G.S.T.
2. The G.S.T. is shown as a separate line item.



1 SOUTH ELEVATION
N.T.S.

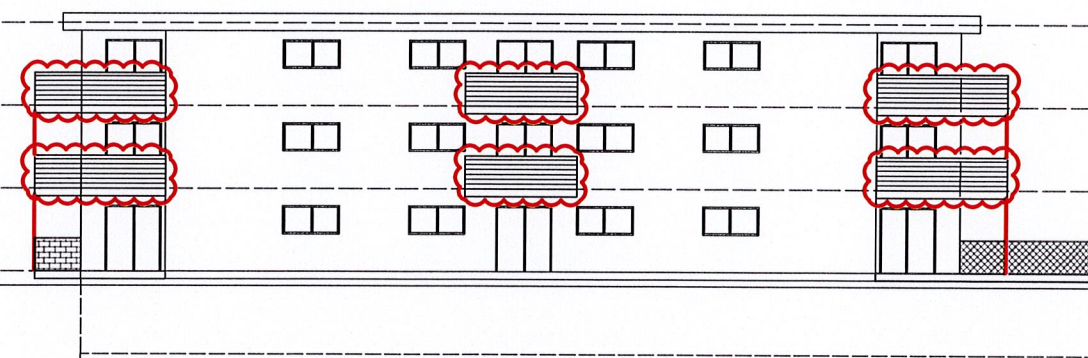


2 NORTH ELEVATION
N.T.S.



3 WEST ELEVATION
N.T.S.

SEPARATE PRICE



4 EAST ELEVATION
N.T.S.

BALCONY REPAIRS:

- NEW WATERPROOFING MEMBRANE
- REPLACE EXISTING BALCONY PARAPETS WITH PICKETS GUARDRAILS
- INSTALL NEW 4x4 POST @ CORNER BALCONIES

GENERAL NOTES:

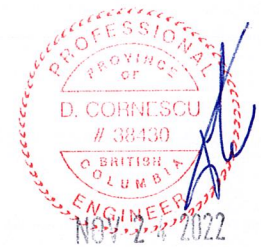
A. TYPICAL BALCONY REPAIR

- REMOVE BALCONY PARAPET.
- REMOVE AND REPLACE EXISTING BALCONIES FLOOR SHEATHING WITH NEW 5/8" T&G ON SLEEPERS.
- LOCALLY REPAIR JOISTS AS REQUIRED & INSTALL 2-2x6 BLOCKINGS @ GUARDRAILS POSTS LOCATIONS.
- SUPPLY AND INSTALL NEW BALCONY ALUMINUM PICKET RAILING. GUARDRAILS TO BE PROVIDED BY REGISTERED PROFESSIONAL ENGINEER.

B. TYPICAL EXTERIOR WALL REPAIR

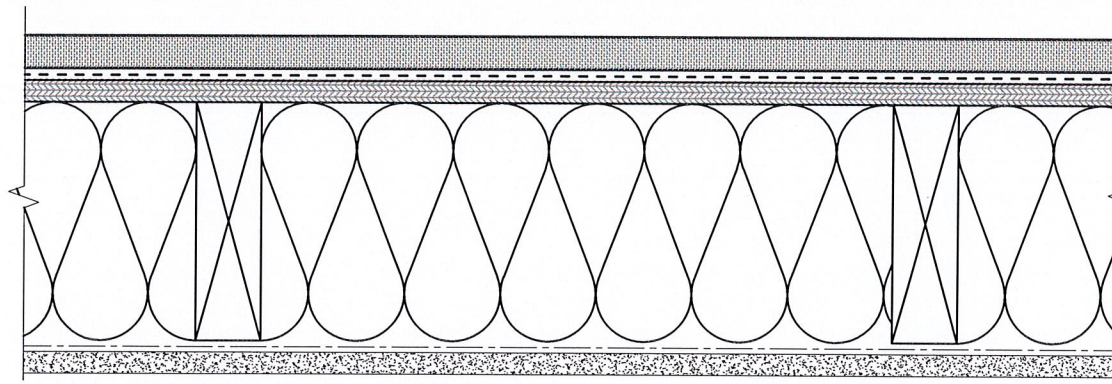
- REMOVE 12" OF EXISTING FACE SEALED STUCCO CLADDING @ WALL BASE TO ACCOMMODATE THE MEMBRANE UPTURN.
- INSTALL NEW 24 GA FLASHING & POSITIVELY OVERLAP THE EXISTING BUILDING PAPER.
- INSTALL HARDIE BOARD @ WALL BASE IN LIEU OF STUCCO.

SEAL:



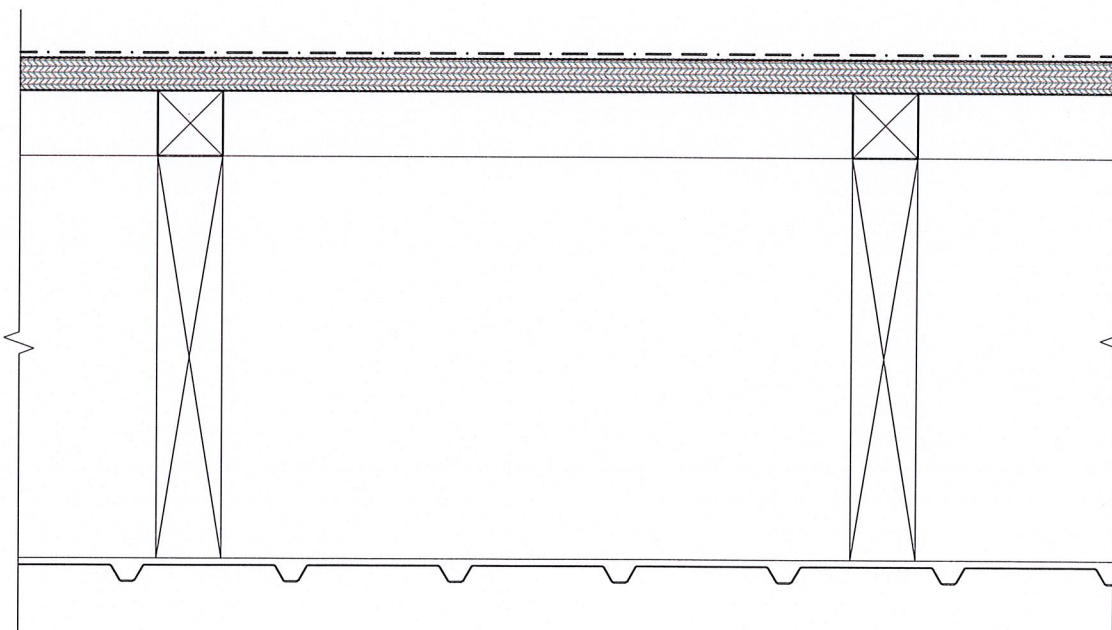
REV	DATE	DESCRIPTION	APP
1			
McINTOSH PERRY 1003 BRUNETTE AVENUE, BC V3K 6Z5 Tel: 604-553-4774 Fax: 604-553-4773 www.mcintoshperry.com			
BUILDING ENVELOPE REPAIRS 1021 4TH AVENUE, NEW WESTMINSTER, B.C.			
DES.	FB	DR.	DT
CH.	FB	APP.	DC
SCALE: AS MARKED			
ISSUED FOR: -			
DATE DRAWN: OCT 18/22			
PROJ. NO.: CCC-224718-22			
SHEET: 01			

STUCCO CLADDING (EXIST.)
 TYVEK (EXIST.)
 1/2" MIN. PLYWOOD SHEATHING (EXIST.)
 WOOD FRAMING WITH R20 INSULATION AT STUD CAVITY (EXIST.)
 6MIL POLYETHYLENE (AIR & VAPOUR BARRIER) (EXIST.)
 G.W.B (EXIST.)

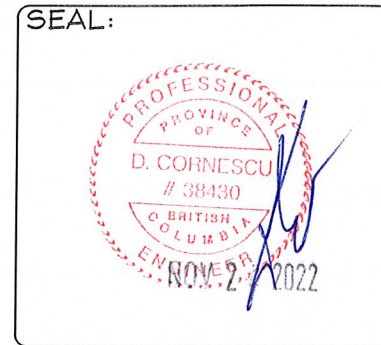


1 WALL TYPE W1 - EXISTING TYPICAL STUCCO CLADDING
 SECTION - 3" = 1'-0"

VULKEM 350/351 LIQUID MEMBRANE (NEW)
 5/8" PLYWOOD DECK SHEATHING T&G (NEW)
 TAPERED SLEEPERS TO CREATE MIN 2% SLOPE (NEW)
 JOISTS (EXIST.)
 ALUMINUM PERFORATED SOFFIT (NEW)



2 FLOOR TYPE F1 - TYPICAL BALCONY DETAIL (OVER NON-LIVING SPACE)
 SECTION - 3" = 1'-0"



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SHEET: 02							

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BUILDING ENVELOPE REPAIRS
 1021 4TH AVENUE,
 NEW WESTMINSTER, B.C.

PERMIT TO PRACTICE
 PERMIT NUMBER: 1003486

DES.	FB	DR.	DT	CH.	FB	APP.	DC
SCALE: AS MARKED							
ISSUED FOR: -							
DATE DRAWN: OCT 18/22							
PROJ. NO.: CCC-224718-22							
SHEET: 02							

- MIN 5 ROWS OF 3"X0.120" P-NAILS @12"O.C. c/w PL PREMIUM. (REDUCE 1 ROW IF MEMBER IS BELOW 8" DEEP
- IF USING 12d-16d (0.148"-0.162" DIA.), THE NUMBER OF NAILING ROWS MAY BE REDUCE BY ONE. CHEVRON NAILING PATTERN IS PERMITTED

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— LAY SHEATHING
PERPENDICULAR TO JOISTS
STAGGER JOINTS

1 TYP. SIDE REINFORCEMENT DETAIL
N.T.S.

2 TYP. SHEATHING DISPHRAM FASTENING DETAIL
N.T.S.

PLYWOOD INSTALLATION:
USE 2½" NAILS @ 3" O.C. ON PANELS
PERIMETER & 6" O.C. ON FIELD

FOR ANY CANTILEVER JOISTS DAMAGES EXTENDING BEYOND $\frac{1}{3}$ OF JOIST TIP, THE CONTRACTOR SHALL REPLACE THE ENTIRE JOIST. THE CONTRACTOR TO REMOVE DRYWALL CEILING & TIE-IN THE REPAIR JOIST TO THE FLOOR STRUCTURE (AS PER EXISTING)

PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
D. CORNESCU
38430
BRITISH COLUMBIA
ENGINEER
NOV 4 2022

McINTOSH PERRY
1003 BRIMLEY AVENUE, SUITE 202

1003 BRUNELLE AVENUE, BC V3K 6Z5
Tel: 604-553-4774 Fax: 604-553-4773
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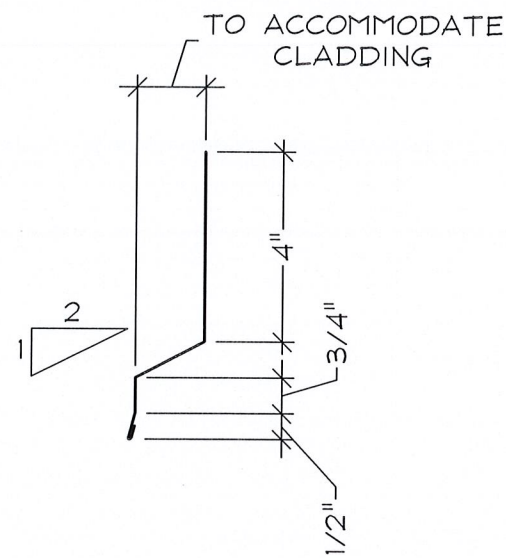
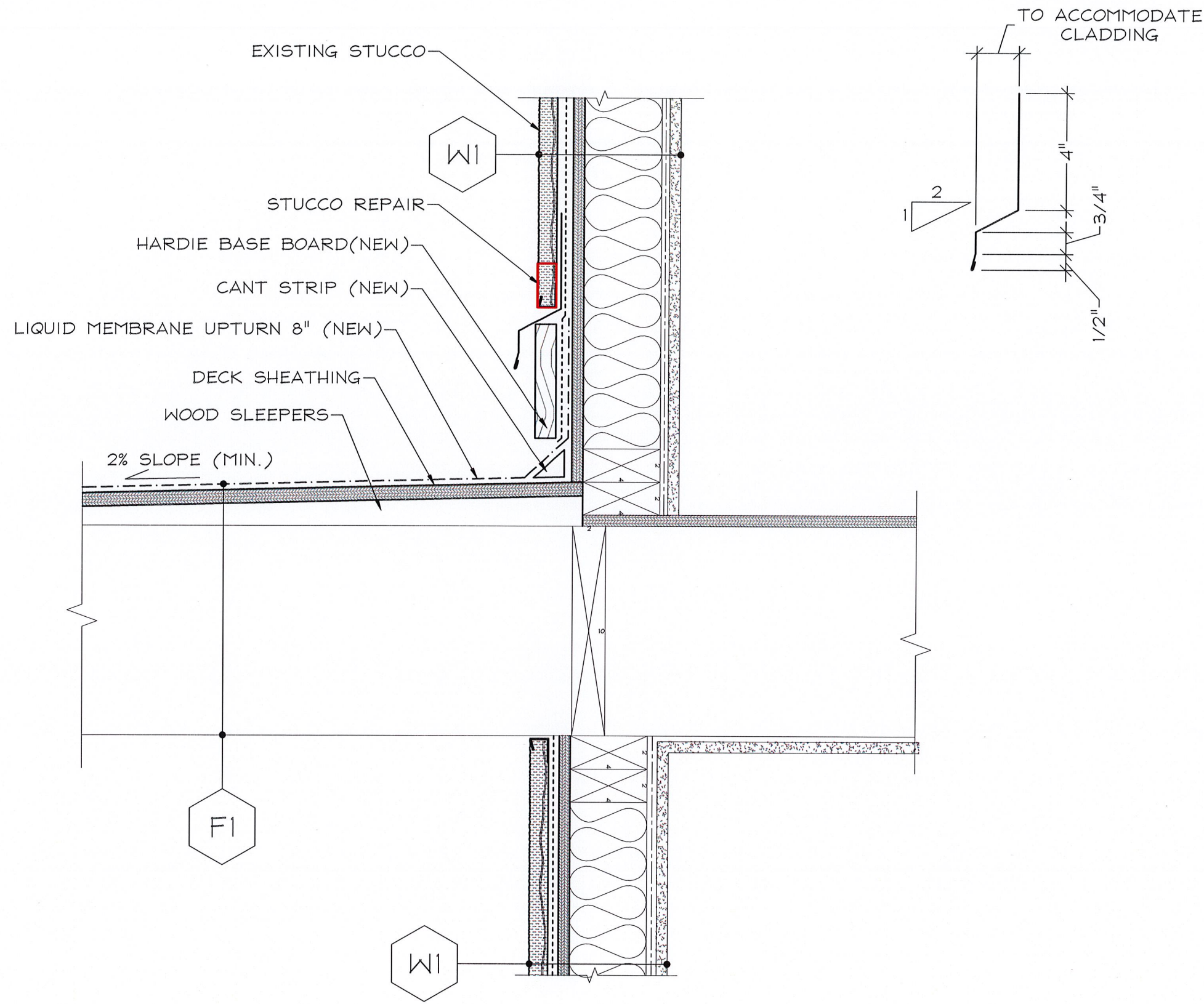
PERMIT TO PRACTICE
PERMIT NUMBER: 1003486

DESCRIPTION

BUILDING ENVELOPE REPAIRS

1021 4TH AVENUE,
NEW WESTMINSTER, B.C.

DES.	DR.	CH.	APP.
FB	DT	FB	DC
SCALE: AS MARKED			
ISSUED FOR: —			
DATE DRAWN: OCT 18/22			
PROJ. NO.: CCC-224718-22			
SHEET: 03			

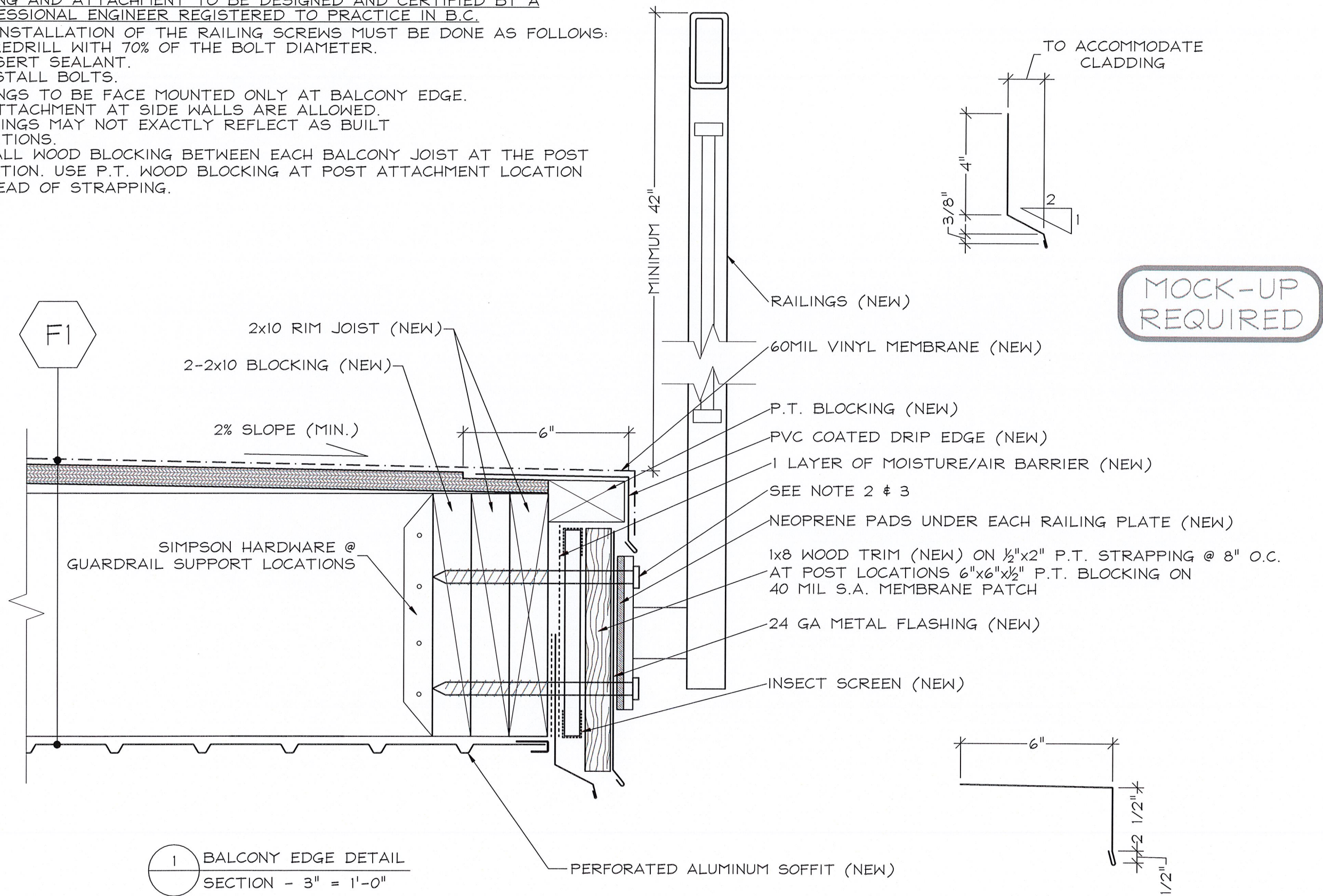


1 BASE OF WALL AT BALCONY
SECTION - 3" = 1'-0"

SEAL: 			
REV	DATE	DESCRIPTION	McINTOSH PERRY 1003 BRUNETTE AVENUE, BC V3K 6Z5 Tel: 604-553-4774 Fax: 604-553-4773 www.mcintoshperry.com PERMIT TO PRACTICE PERMIT NUMBER: 1003486 BUILDING ENVELOPE REPAIRS 1021 4TH AVENUE, NEW WESTMINSTER, B.C.
DES.	DR.	CH.	APP.
FB	DT	FB	DC
SCALE: AS MARKED			
ISSUED FOR: -			
DATE DRAWN: OCT 18/22			
PROJ. NO.: CCC-224718-22			
SHEET: 04			

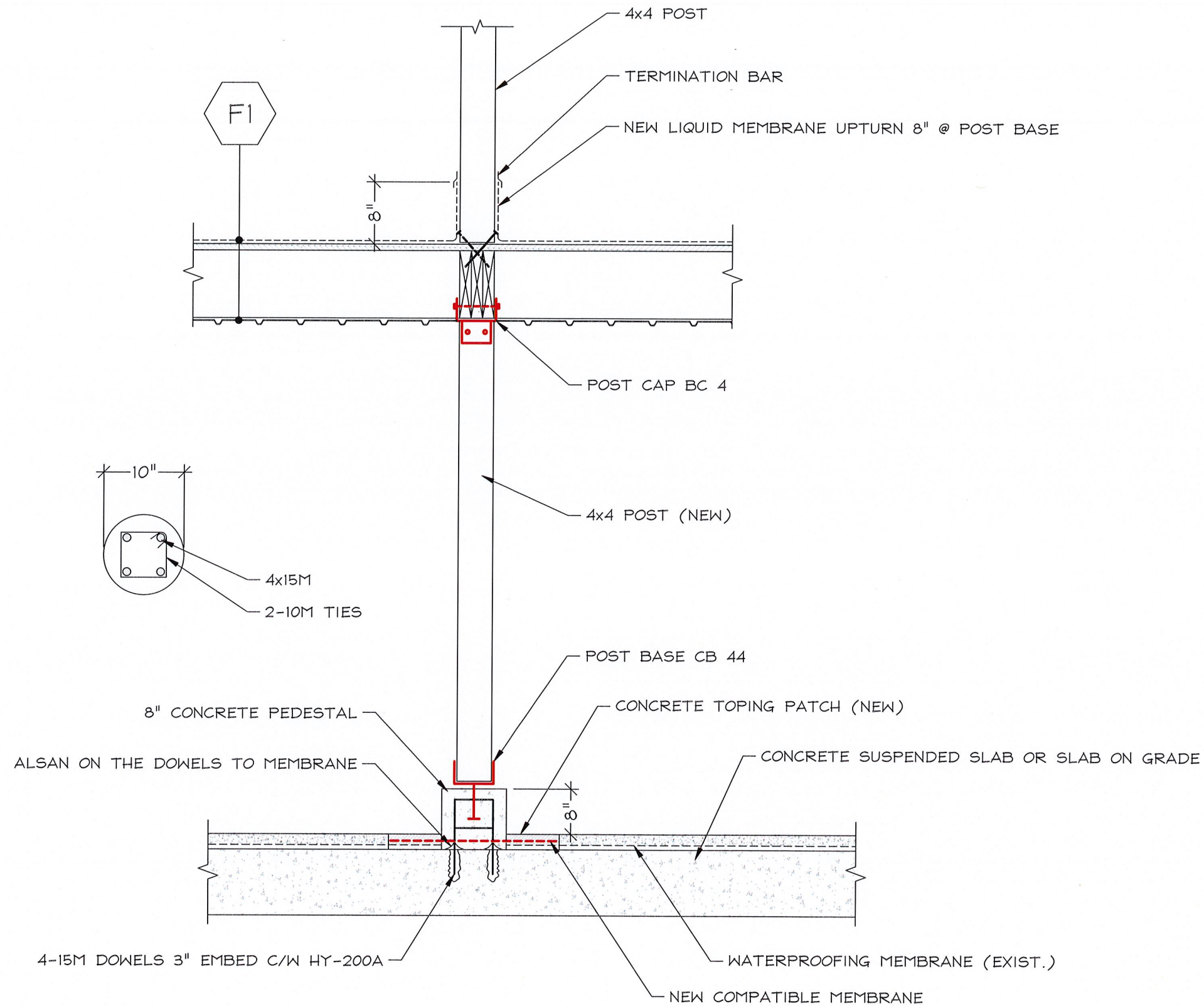
NOTES:

1. RAILING AND ATTACHMENT TO BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED TO PRACTICE IN B.C.
2. THE INSTALLATION OF THE RAILING SCREWS MUST BE DONE AS FOLLOWS:
 - A. PREDRILL WITH 70% OF THE BOLT DIAMETER.
 - B. INSERT SEALANT.
 - C. INSTALL BOLTS.
3. RAILINGS TO BE FACE MOUNTED ONLY AT BALCONY EDGE. NO ATTACHMENT AT SIDE WALLS ARE ALLOWED.
4. DRAWINGS MAY NOT EXACTLY REFLECT AS BUILT CONDITIONS.
5. INSTALL WOOD BLOCKING BETWEEN EACH BALCONY JOIST AT THE POST LOCATION. USE P.T. WOOD BLOCKING AT POST ATTACHMENT LOCATION INSTEAD OF STRAPPING.



1 BALCONY EDGE DETAIL
SECTION - 3" = 1'-0"

SEAL:				
APP		McINTOSH PERRY 1003 BRUNETTE AVENUE, BC V3K 6Z5 Tel: 604-553-4774 Fax: 604-553-4773 www.mcintoshperry.com		
DESCRIPTION		BUILDING ENVELOPE REPAIRS 1021 4TH AVENUE, NEW WESTMINSTER, B.C.		
REV	DATE			
DES. FB DR. DT CH. FB APP. DC SCALE: AS MARKED ISSUED FOR: - DATE DRAWN: OCT 18/22 PROJ. NO.: CCC-224718-22 SHEET: 05				



1 POST INSTALLATION - SUSPENDED SLAB
N.T.S.

SEAL:



REV	DATE	DESCRIPTION	APP
-	-	-	-

DES.	FB	DR.	DT	CH.	FB	APP.	DC
SCALE: AS MARKED							
ISSUED FOR: -							
DATE DRAWN: OCT 18/22							
PROJ. NO.: CCC-224718-22							
SHEET: 06							

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