



November 1, 2024

Dan Sander  
Lionsgate Communities  
1155 West Pender Street, Suite 620  
Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
195 21st Street West Vancouver BC – Certificate for Payment #1**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 1 in the amount of **\$346,954.67** (including GST) and Progress Summary No. 1, dated October 31, 2024.
- Alumni Restorations Ltd.'s invoice #2404 dated October 30, 2024, for work completed to October 31, 2024. Invoice and supporting documents received by RJC on October 31, 2024.
- WorkSafe BC Letter of Good Standing dated November 1, 2024.

Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.

*Reviewed by:*

A handwritten signature in black ink, appearing to read 'Reza'.

Reza Fallahtafti  
Designer

A handwritten signature in black ink, appearing to read 'Ilona'.

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
Project Engineer

RFT/jpy



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**  
is entitled (subject to possible claims of any others, such as lien holders) to a payment of:  
**\$346,954.67** (includes GST/HST where applicable)  
( Three Hundred Forty Six Thousand Nine Hundred Fifty Four 67 /100 Dollars )

**Contractor Account**

|  |                 |                      |
|--|-----------------|----------------------|
| 1. Original Contract Price.....                                    | \$ 3,060,025.50 |                      |
| 2. Authorized Additions.....                                       | \$ 0.00         |                      |
| 3. Authorized Deductions.....                                      | \$ 0.00         |                      |
| 4. Contract Price to Date (1 + 2 - 3).....                         |                 | \$ 3,060,025.50      |
| 5. Estimated Value of Work Done to Date.....                       |                 | \$ 367,147.80        |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ 36,714.78    |                      |
| 7. Statutory Lien Holdback Released.....                           | \$ 0.00         |                      |
| 8. Current Statutory Lien Holdback (6 - 7).....                    |                 | \$ 36,714.78         |
| 9. Total Certified to Date (5 - 8).....                            |                 | \$ 330,433.02        |
| 10. Amount Previously Certified (9 from previous certificate)..... |                 | \$ 0.00              |
| 11. Amount of this Certificate (9 - 10).....                       |                 | \$ <b>330,433.02</b> |
| 12. GST on Amount Certified (5% of 11).....                        |                 | \$ 16,521.65         |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... |                 | \$ <b>346,954.67</b> |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ 2,729,592.48 |                      |

**Statutory Lien Holdback Account**

|  |                     |  |
|--|---------------------|--|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ 36,714.78        |  |
| 16. Previous Statutory Lien Holdback (15 from previous certificate.).....    | \$ 0.00             |  |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ 36,714.78        |  |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ 1,835.74         |  |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... | \$ <b>38,550.52</b> |  |
| <b>or</b>  |                     |  |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... | \$ 0.00             |  |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       | \$ <b>38,550.52</b> |  |

Per: \_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**

November 1, 2024

**For the Period**

FROM: September 23, 2024

TO: October 31, 2024

**Contractor**

Alumni Restorations Ltd.

4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**

Lionsgate Communities

1155 West Pender Street,  
Suite 620  
Vancouver BC V6E 2P4

**Distribution**

**CONTRACTOR:**

Beau Henderson

**OWNER:**

Dan Sander

**CONSULTANT(S) - RJC:**

Ilona Cervantes  
Reza Fallahtafti

**Project Name**

Bellevue Tower West - Balcony  
Restoration

**Project No.**

VAN.103256.0016

**PROGRESS PAYMENT No. 1**

| SUMMARY OF COSTS |                                       |                        |                        |                         |                      |                        |                        |                     |                      |
|------------------|---------------------------------------|------------------------|------------------------|-------------------------|----------------------|------------------------|------------------------|---------------------|----------------------|
| Ref.             | Item Description                      | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total  | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total    |
|                  | Lump Sum Contract Amount              | 3,060,025.00           | -                      | 367,147.80              | 367,147.80           | 12.00%                 | 2,692,877.20           | 36,714.78           | 330,433.02           |
|                  | <b>TOTAL</b>                          | <b>\$ 3,060,025.00</b> | <b>\$ -</b>            | <b>\$ 367,147.80</b>    | <b>\$ 367,147.80</b> | <b>12.00%</b>          | <b>\$ 2,692,877.20</b> | <b>\$ 36,714.78</b> | <b>\$ 330,433.02</b> |
|                  |                                       |                        | Complete this Draw     | Lien Holdback           | Subtotal             |                        | Add GST                |                     | <b>TOTAL</b>         |
|                  | <b>Total this claim:</b>              |                        | <b>\$ 367,147.80</b>   | <b>\$ 36,714.78</b>     | <b>\$ 330,433.02</b> |                        | <b>\$ 16,521.65</b>    |                     | <b>\$ 346,954.67</b> |
| CONTRACT         |                                       |                        |                        |                         |                      |                        |                        |                     |                      |
| Ref.             | Item Description                      | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total  | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total    |
| 1.1              | Mock Up                               | 35,000.00              | 0.00                   | 35,000.00               | 35,000.00            | 100.00%                | 0.00                   | 3,500.00            | 31,500.00            |
| 1.2              | Mobilization                          | 45,000.00              | 0.00                   | 45,000.00               | 45,000.00            | 100.00%                | 0.00                   | 4,500.00            | 40,500.00            |
| 1.3              | General Requirements                  | 180,000.00             | 0.00                   | 17,300.00               | 17,300.00            | 9.61%                  | 162,700.00             | 1,730.00            | 15,570.00            |
| 1.4              | Demobilization                        | 25,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 25,000.00              | 0.00                | 0.00                 |
| 1.5              | Environmental Testing                 | 4,000.00               | 0.00                   | 4,000.00                | 4,000.00             | 100.00%                | 0.00                   | 400.00              | 3,600.00             |
| 1.6              | Access                                | 336,000.00             | 0.00                   | 34,525.00               | 34,525.00            | 10.28%                 | 301,475.00             | 3,452.50            | 31,072.50            |
| 1.7              | Balcony Guard Walls                   | 685,000.00             | 0.00                   | 187,822.80              | 187,822.80           | 27.42%                 | 497,177.20             | 18,782.28           | 169,040.52           |
| 1.8              | General Disposal                      | 40,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 40,000.00              | 0.00                | 0.00                 |
| 1.9              | Guardrail Engineering                 | 10,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 10,000.00              | 0.00                | 0.00                 |
| 1.10             | Guardrails                            | 781,250.00             | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 781,250.00             | 0.00                | 0.00                 |
| 1.11             | Maintenance Manual                    | 500.00                 | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 500.00                 | 0.00                | 0.00                 |
| 1.12             | Top Surface Delamination Repairs      | 50,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 50,000.00              | 0.00                | 0.00                 |
| 1.13             | Full Depth Delamination Repairs       | 200,000.00             | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 200,000.00             | 0.00                | 0.00                 |
| 1.14             | Slab Soffit Repairs                   | 63,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 63,000.00              | 0.00                | 0.00                 |
| 1.15             | Slab Edge Delamination Repairs        | 262,500.00             | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 262,500.00             | 0.00                | 0.00                 |
| 1.16             | Vertical Surface Delamination Repairs | 15,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 15,000.00              | 0.00                | 0.00                 |
| 1.17             | Metal Angle and Anchor Removal        | 125,000.00             | 0.00                   | 43,500.00               | 43,500.00            | 34.80%                 | 81,500.00              | 4,350.00            | 39,150.00            |
| 1.18             | Metal Angle Coating                   | 75,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 75,000.00              | 0.00                | 0.00                 |
| 1.19             | Rout and Caulk Cracks                 | 900.00                 | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 900.00                 | 0.00                | 0.00                 |
| 1.20             | Deckote Installation on Balconies     | 80,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 80,000.00              | 0.00                | 0.00                 |
| 1.21             | Painting Balcony Soffits              | 46,875.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 46,875.00              | 0.00                | 0.00                 |
|                  | <b>TOTAL</b>                          | <b>\$ 3,060,025.00</b> | <b>\$ -</b>            | <b>\$ 367,147.80</b>    | <b>\$ 367,147.80</b> | <b>12.00%</b>          | <b>\$ 2,692,877.20</b> | <b>\$ 36,714.78</b> | <b>\$ 330,433.02</b> |

**INVOICE**

October 30, 2024

To: Lionsgate Communities  
 C/O Ilona Cervantes  
 RJC  
 1285 West Broadway, Suite 300  
 Vancouver BC V6H 3X8



GST #: 87177-9427RT  
 Invoice #: 2404

**Re: Bellevue Tower West – Balcony Restoration  
 Progress Draw # 1**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$367 147.80   |
| Less 10% holdback: | (\$ 36 714.78) |
| Subtotal:          | \$330 433.02   |
| GST:               | \$ 16 521.65   |
| Total:             | \$346 954.67   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
 President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>                               |                        |                      |                 |                      |
|--|------------------------|----------------------|-----------------|----------------------|
| <b>Progress Draw # 1</b>                             |                        |                      |                 |                      |
| <b>Item</b>  | <b>Contract</b>        | <b>Total</b>         | <b>Previous</b> | <b>Current</b>       |
| Mock up  | \$ 35,000.00           | \$ 35,000.00         | \$ -            | \$ 35,000.00         |
| Mobilization   | \$ 45,000.00           | \$ 45,000.00         | \$ -            | \$ 45,000.00         |
| General requirements                                 | \$ 180,000.00          | \$ 17,300.00         | \$ -            | \$ 17,300.00         |
| Demobilization                                       | \$ 25,000.00           | \$ -                 | \$ -            | \$ -                 |
| Environmental testing                                | \$ 4,000.00            | \$ 4,000.00          | \$ -            | \$ 4,000.00          |
| Access   | \$ 336,000.00          | \$ 34,525.00         | \$ -            | \$ 34,525.00         |
| Balcony guard walls                                  | \$ 685,000.00          | \$ 187,822.80        | \$ -            | \$ 187,822.80        |
| General disposal                                     | \$ 40,000.00           |                      | \$ -            | \$ -                 |
| Guardrail engineering                                | \$ 10,000.00           |                      | \$ -            | \$ -                 |
| Guardrails   | \$ 781,250.00          |                      | \$ -            | \$ -                 |
| Maintenance manual                                   | \$ 500.00              |                      | \$ -            | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft       | \$ 50,000.00           |                      | \$ -            | \$ -                 |
| Full depth delamination repairs - \$500/sq.ft.       | \$ 200,000.00          |                      | \$ -            | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                   | \$ 63,000.00           |                      | \$ -            | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.        | \$ 262,500.00          |                      | \$ -            | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft. | \$ 15,000.00           |                      | \$ -            | \$ -                 |
| Metal angle and anchor removal - \$250 each          | \$ 125,000.00          | \$ 43,500.00         | \$ -            | \$ 43,500.00         |
| Metal angle coating - \$200 each                     | \$ 75,000.00           |                      | \$ -            | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                 | \$ 900.00              |                      | \$ -            | \$ -                 |
| Deckote installation on balconies                    | \$ 80,000.00           |                      | \$ -            | \$ -                 |
| Painting balcony soffits                             | \$ 46,875.00           |                      | \$ -            | \$ -                 |
|  | <b>\$ 3,060,025.00</b> | <b>\$ 367,147.80</b> | <b>\$ -</b>     | <b>\$ 367,147.80</b> |
| General requirements \$3460/week                     |                        |                      |                 |                      |
| Access \$6905/week                                   |                        |                      |                 |                      |
| Balcony guardrails -744 panels @ \$920.70 each       |                        |                      |                 |                      |
| 154 panels on south side                             |                        |                      |                 |                      |
| 50 panels on the east side                           |                        |                      |                 |                      |
| Metal angle and anchor removal                       |                        |                      |                 |                      |
| 124 on south side                                    |                        |                      |                 |                      |
| 50 on east side                                      |                        |                      |                 |                      |



WORKING TO MAKE A DIFFERENCE

**6**  
**Assessment Department**  
**Mailing Address**  
PO Box 5350  
Station Terminal  
Vancouver BC V6B 5L5

**Location**  
6951 Westminster Highway  
Richmond BC  
V7C 1C6  
www.worksafebc.com

**Clearance Section**  
Telephone 604 244 6380  
Toll Free within Canada  
1 888 922 2768  
Fax 604 244 6390

Lionsgate Communities  
c/o Read Jones Christoffersen Ltd.  
1285 West Broadway, Suite 300  
VANCOUVER, BC V6H 3X8

November 01, 2024

Person/Business : ALUMNI RESTORATIONS LTD  
Account number : 624848

This letter provides clearance information for the purposes of Section 258 of the *Workers Compensation Act*.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to January 01, 2025.

This firm has had continuous coverage with us since March 29, 1999.

Employer Service Centre  
Assessment Department

Clearance Reference # : C135247002  
CLRAAA

For more information about Section 258 and clearance letters visit [WorkSafeBC.com](http://WorkSafeBC.com)

*Please refer to your account number in your correspondence or when contacting the Assessment Department.*

To alter this document constitutes fraud.



January 10, 2025

Dan Sander  
 Lionsgate Communities  
 1155 West Pender Street, Suite 620  
 Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
 195 21st Street West Vancouver BC – Certificate for Payment #2**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 2 in the amount of **\$257,514.58** (including GST) and Progress Summary No. 2, dated January 10, 2025.
- Alumni Restorations Ltd.'s invoice #2418 dated November 29, 2024, for work completed to November 30, 2024. Revised invoice and supporting documents received by RJC on January 10, 2025.
- Statutory Declaration dated November 29, 2024, received by RJC on December 17, 2024.
- WorkSafe BC Letter of Good Standing dated January 10, 2025.

As indicated on Alumni Restorations Ltd.'s statutory declaration, payment has not been received for Certificate for Payment (CFP) #1, which was sent electronically to the Owner on November 21, 2024. If payment has been made for CFP#1, please advise RJC so we can request an updated statutory declaration from the Contractor. Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,  
 READ JONES CHRISTOFFERSEN LTD.

A handwritten signature in black ink, appearing to read 'Reza'.

Reza Fallahtafti  
 Designer

*Reviewed by:*

A handwritten signature in black ink, appearing to read 'Ilona'.

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
 Project Engineer

RFT/jpy



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**  
is entitled (subject to possible claims of any others, such as lien holders) to a payment of:  
**\$257,514.58** (includes GST/HST where applicable)  
( Two Hundred Fifty Seven Thousand Five Hundred Fourteen 58 /100 Dollars )

**Contractor Account**

|  |    |              |                      |
|--|----|--------------|----------------------|
| 1. Original Contract Price.....                                    | \$ | 3,060,025.50 |                      |
| 2. Authorized Additions.....                                       | \$ | 0.00         |                      |
| 3. Authorized Deductions.....                                      | \$ | 0.00         |                      |
| 4. Contract Price to Date (1 + 2 - 3).....                         |    |              | \$ 3,060,025.50      |
| 5. Estimated Value of Work Done to Date.....                       | \$ | 639,650.00   |                      |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ | 63,965.00    |                      |
| 7. Statutory Lien Holdback Released.....                           | \$ | 0.00         |                      |
| 8. Current Statutory Lien Holdback (6 - 7).....                    |    |              | \$ 63,965.00         |
| 9. Total Certified to Date (5 - 8).....                            |    |              | \$ 575,685.00        |
| 10. Amount Previously Certified (9 from previous certificate)..... |    |              | \$ 330,433.02        |
| 11. Amount of this Certificate (9 - 10).....                       |    |              | \$ <b>245,251.98</b> |
| 12. GST on Amount Certified (5% of 11).....                        |    |              | \$ 12,262.60         |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... |    |              | \$ <b>257,514.58</b> |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ | 2,484,340.50 |                      |

**Statutory Lien Holdback Account**

|  |    |           |                     |
|--|----|-----------|---------------------|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ | 63,965.00 |                     |
| 16. Previous Statutory Lien Holdback (15 from previous certificate.).....    | \$ | 36,714.78 |                     |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ | 27,250.22 |                     |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ | 1,362.51  |                     |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... |    |           | \$ <b>28,612.73</b> |
| <b>or</b>  |    |           |                     |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... |    |           | \$ 0.00             |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       |    |           | \$ <b>67,163.25</b> |

Per: \_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**

January 10, 2025

**For the Period**

**From:** November 1, 2024  
**To:** November 30, 2024

**Contractor**

Alumni Restorations Ltd.  
  
4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**

Lionsgate Communities  
  
1155 West Pender Street,  
Suite 620  
Vancouver BC V6E 2P4

**Distribution**

**CONTRACTOR:**  
Beau Henderson

**OWNER:**  
Dan Sander

**CONSULTANT(S) - RJC:**  
Ilona Cervantes  
Reza Fallahtafti

**Project Name**

Bellevue Tower West -  
Balcony Restoration

**Project No.**

VAN.103256.0016

**PROGRESS PAYMENT No. 2**

| SUMMARY OF COSTS |                                       |                        |                        |                         |                      |                        |                        |                     |                      |
|------------------|---------------------------------------|------------------------|------------------------|-------------------------|----------------------|------------------------|------------------------|---------------------|----------------------|
| Ref.             | Item Description                      | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total  | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total    |
|                  | Lump Sum Contract Amount              | 3,060,025.00           | 367,147.80             | 272,502.20              | 639,650.00           | 20.90%                 | 2,420,375.00           | 63,965.00           | 575,685.00           |
|                  | <b>TOTAL</b>                          | <b>\$ 3,060,025.00</b> | <b>\$ 367,147.80</b>   | <b>\$ 272,502.20</b>    | <b>\$ 639,650.00</b> | <b>20.90%</b>          | <b>\$ 2,420,375.00</b> | <b>\$ 63,965.00</b> | <b>\$ 575,685.00</b> |
|                  |                                       |                        | Complete this Draw     | Lien Holdback           | Subtotal             |                        | Add GST                |                     | <b>TOTAL</b>         |
|                  | <b>Total this claim:</b>              |                        | <b>\$ 272,502.20</b>   | <b>\$ 27,250.22</b>     | <b>\$ 245,251.98</b> |                        | <b>\$ 12,262.60</b>    |                     | <b>\$ 257,514.58</b> |
| CONTRACT         |                                       |                        |                        |                         |                      |                        |                        |                     |                      |
| Ref.             | Item Description                      | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total  | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total    |
| 1.1              | Mock Up                               | 35,000.00              | 35,000.00              | 0.00                    | 35,000.00            | 100.00%                | 0.00                   | 3,500.00            | 31,500.00            |
| 1.2              | Mobilization                          | 45,000.00              | 45,000.00              | 0.00                    | 45,000.00            | 100.00%                | 0.00                   | 4,500.00            | 40,500.00            |
| 1.3              | General Requirements                  | 180,000.00             | 17,300.00              | 17,300.00               | 34,600.00            | 19.22%                 | 145,400.00             | 3,460.00            | 31,140.00            |
| 1.4              | Demobilization                        | 25,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 25,000.00              | 0.00                | 0.00                 |
| 1.5              | Environmental Testing                 | 4,000.00               | 4,000.00               | 0.00                    | 4,000.00             | 100.00%                | 0.00                   | 400.00              | 3,600.00             |
| 1.6              | Access                                | 336,000.00             | 34,525.00              | 34,525.00               | 69,050.00            | 20.55%                 | 266,950.00             | 6,905.00            | 62,145.00            |
| 1.7              | Balcony Guard Walls                   | 685,000.00             | 187,822.80             | 154,677.20              | 342,500.00           | 50.00%                 | 342,500.00             | 34,250.00           | 308,250.00           |
| 1.8              | General Disposal                      | 40,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 40,000.00              | 0.00                | 0.00                 |
| 1.9              | Guardrail Engineering                 | 10,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 10,000.00              | 0.00                | 0.00                 |
| 1.10             | Guardrails                            | 781,250.00             | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 781,250.00             | 0.00                | 0.00                 |
| 1.11             | Maintenance Manual                    | 500.00                 | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 500.00                 | 0.00                | 0.00                 |
| 1.12             | Top Surface Delamination Repairs      | 50,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 50,000.00              | 0.00                | 0.00                 |
| 1.13             | Full Depth Dalmation Repairs          | 200,000.00             | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 200,000.00             | 0.00                | 0.00                 |
| 1.14             | Slab Soffit Repairs                   | 63,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 63,000.00              | 0.00                | 0.00                 |
| 1.15             | Slab Edge Delamination Repairs        | 262,500.00             | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 262,500.00             | 0.00                | 0.00                 |
| 1.16             | Vertical Surface Delamination Repairs | 15,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 15,000.00              | 0.00                | 0.00                 |
| 1.17             | Metal Angle and Anchor Removal        | 125,000.00             | 43,500.00              | 66,000.00               | 109,500.00           | 87.60%                 | 15,500.00              | 10,950.00           | 98,550.00            |
| 1.18             | Metal Angle Coating                   | 75,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 75,000.00              | 0.00                | 0.00                 |
| 1.19             | Rout and Caulk Cracks                 | 900.00                 | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 900.00                 | 0.00                | 0.00                 |
| 1.20             | Deckote Installation on Balconies     | 80,000.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 80,000.00              | 0.00                | 0.00                 |
| 1.21             | Painting Balcony Soffits              | 46,875.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | 46,875.00              | 0.00                | 0.00                 |
|                  | <b>TOTAL</b>                          | <b>\$ 3,060,025.00</b> | <b>\$ 367,147.80</b>   | <b>\$ 272,502.20</b>    | <b>\$ 639,650.00</b> | <b>20.90%</b>          | <b>\$ 2,420,375.00</b> | <b>\$ 63,965.00</b> | <b>\$ 575,685.00</b> |

**INVOICE**

November 29, 2024

To: Lionsgate Communities  
C/O Ilona Cervantes  
RJC  
1285 West Broadway, Suite 300  
Vancouver BC V6H 3X8



GST #:87177-9427RT  
Invoice #:2418

**Re: Bellevue Tower West – Balcony Restoration  
Progress Draw # 2**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$272 502.20   |
| Less 10% holdback: | (\$ 27 250.20) |
| Subtotal:          | \$245 251.98   |
| GST:               | \$ 12 262.60   |
| Total:             | \$257 514.58   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>                               |                        |                      |                      |                      |
|--|------------------------|----------------------|----------------------|----------------------|
| <b>Progress Draw # 2</b>                             |                        |                      |                      |                      |
| <b>Item</b>  | <b>Contract</b>        | <b>Total</b>         | <b>Previous</b>      | <b>Current</b>       |
| Mock up  | \$ 35,000.00           | \$ 35,000.00         | \$ 35,000.00         | \$ -                 |
| Mobilization   | \$ 45,000.00           | \$ 45,000.00         | \$ 45,000.00         | \$ -                 |
| General requirements                                 | \$ 180,000.00          | \$ 34,600.00         | \$ 17,300.00         | \$ 17,300.00         |
| Demobilization                                       | \$ 25,000.00           | \$ -                 | \$ -                 | \$ -                 |
| Environmental testing                                | \$ 4,000.00            | \$ 4,000.00          | \$ 4,000.00          | \$ -                 |
| Access   | \$ 336,000.00          | \$ 69,050.00         | \$ 34,525.00         | \$ 34,525.00         |
| Balcony guard walls                                  | \$ 685,000.00          | \$ 342,500.00        | \$ 187,822.80        | \$ 154,677.20        |
| General disposal                                     | \$ 40,000.00           |                      | \$ -                 | \$ -                 |
| Guardrail engineering                                | \$ 10,000.00           |                      | \$ -                 | \$ -                 |
| Guardrails   | \$ 781,250.00          |                      | \$ -                 | \$ -                 |
| Maintenance manual                                   | \$ 500.00              |                      | \$ -                 | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft       | \$ 50,000.00           |                      | \$ -                 | \$ -                 |
| Full depth delamination repairs - \$500/sq.ft.       | \$ 200,000.00          |                      | \$ -                 | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                   | \$ 63,000.00           |                      | \$ -                 | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.        | \$ 262,500.00          |                      | \$ -                 | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft. | \$ 15,000.00           |                      | \$ -                 | \$ -                 |
| Metal angle and anchor removal - \$250 each          | \$ 125,000.00          | \$ 109,500.00        | \$ 43,500.00         | \$ 66,000.00         |
| Metal angle coating - \$200 each                     | \$ 75,000.00           |                      | \$ -                 | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                 | \$ 900.00              |                      | \$ -                 | \$ -                 |
| Deckote installation on balconies                    | \$ 80,000.00           |                      | \$ -                 | \$ -                 |
| Painting balcony soffits                             | \$ 46,875.00           |                      | \$ -                 | \$ -                 |
|  | <b>\$ 3,060,025.00</b> | <b>\$ 639,650.00</b> | <b>\$ 367,147.80</b> | <b>\$ 272,502.20</b> |
| General requirements \$3460/week                     |                        |                      |                      |                      |
| Access \$6905/week                                   |                        |                      |                      |                      |
| Balcony guardrails -744 panels @ \$920.70 each       |                        |                      |                      |                      |
| All guardrails completed on half the building        |                        |                      |                      |                      |
|  |                        |                      |                      |                      |
|  |                        |                      |                      |                      |
| Metal angle and anchor removal                       |                        |                      |                      |                      |
| 438 on the south and east side                       |                        |                      |                      |                      |

# Statutory Declaration of Progress Payment Distribution by Contractor

Standard Construction Document

**CCDC 9A – 2018**

To be made by the Contractor as a condition for either  
 second and subsequent progress payments; or  
 release of holdback.

Application for payment number \_\_\_\_\_  
dated \_\_\_\_\_ is the last  
application for payment for which the Contractor has  
received payment.

## Information Appearing in the Contract Documents

Name of Project  
Bellevue Tower West - Balcony Restoration

Date of Contract: 20 September 2024

Name of Owner  
Lionsgate Communities

Name of Contractor  
Alumni Restorations Ltd.

## Declaration

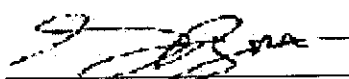
I solemnly declare that, as of the date of this declaration, I am an authorized signing officer, partner or sole proprietor of the Contractor, and as such have authority to bind the Contractor, and have personal knowledge of the fact that all accounts for labour, subcontracts, products, services, and construction machinery and equipment which have been incurred directly by the Contractor in the performance of the work as required by the Contract, and for which the Owner might in any way be held responsible, have been paid in full as required by the Contract up to and including the latest progress payment received, as identified above, except for:


- 1) holdback monies properly retained,
- 2) payments deferred by agreement, or
- 3) payment withheld by reason of legitimate dispute which has been identified to the party or parties from whom payment has been withheld.

I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Declared before me in West Vancouver, BC this 29 day of November in the year 2024  
*City/Town and Province*

George Barr  
*Name*  
Principal  
*Title*

  
*Signature*

  
*(A Commissioner for Oaths, Notary Public, Justice of the Peace, etc.)*

**The making of a false or fraudulent declaration is a contravention of the Criminal Code of Canada, and could carry, upon conviction, penalties including fines or imprisonment.**

This agreement is protected by copyright and is intended by the parties to be an unaltered version of CCDC 9 – 2018 except to the extent that any alterations, additions or modifications are set forth in supplementary conditions.



Use of this form without a CCDC 9 copyright seal constitutes an infringement of copyright. Use of this form with a CCDC 9 copyright seal demonstrates that it is intended by the parties to be an accurate and unamended version of CCDC 9A – 2018.

**CCDC** Copyright 2018  
A Commissioner for Taking Canadian Construction Documents Committee  
Affidavits for British Columbia  
Expires: November 30, 2026



WORKING TO MAKE A DIFFERENCE

13

|                              |                          |                          |
|------------------------------|--------------------------|--------------------------|
| <b>Assessment Department</b> | <b>Location</b>          | <b>Clearance Section</b> |
| <b>Mailing Address</b>       | 6951 Westminster Highway | Telephone 604 244 6380   |
| PO Box 5350                  | Richmond BC              | Toll Free within Canada  |
| Station Terminal             | V7C 1C6                  | 1 888 922 2768           |
| Vancouver BC V6B 5L5         | www.worksafebc.com       | Fax 604 244 6390         |

Lionsgate Communities  
 c/o Read Jones Christoffersen Ltd.  
 1285 West Broadway, Suite 300  
 VANCOUVER, BC V6H 3X8

January 10, 2025

Person/Business : ALUMNI RESTORATIONS LTD  
 Account number : 624848

This letter provides clearance information for the purposes of Section 258 of the *Workers Compensation Act*.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to April 01, 2025.

This firm has had continuous coverage with us since March 29, 1999.

Employer Service Centre  
 Assessment Department

Clearance Reference # : C135372332  
 CLRAAA

For more information about Section 258 and clearance letters visit [WorkSafeBC.com](http://WorkSafeBC.com)

*Please refer to your account number in your correspondence or when contacting the Assessment Department.*  
 To alter this document constitutes fraud.



February 13, 2025

Dan Sander  
Lionsgate Communities  
1155 West Pender Street, Suite 620  
Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
195 21st Street West Vancouver BC – Certificate for Payment #3**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 3 in the amount of **\$433,173.22** (including GST) and Progress Summary No. 3, dated February 4, 2025.
- Alumni Restorations Ltd.'s invoice #2429 dated January 30, 2025, for work completed to January 31, 2025. Invoice and supporting documents received by RJC on January 31, 2025.
- Statutory Declaration dated January 31, 2025, received by RJC on February 12, 2025.
- WorkSafe BC Letter of Good Standing dated February 4, 2025.

As indicated on Alumni Restorations Ltd.'s statutory declaration, payment has not been received for Certificate for Payment (CFP) #2, which was sent electronically to the Owner on January 13, 2025. If payment has been made for CFP#2, please advise RJC so we can request an updated statutory declaration from the Contractor. Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,  
READ JONES CHRISTOFFERSEN LTD.

Reza Fallahtafti  
Designer

*Reviewed by:*

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
Project Engineer

RFT/akb



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**

is entitled (subject to possible claims of any others, such as lien holders) to a payment of:

**\$433,173.22** (includes GST/HST where applicable)

( Four Hundred Thirty Three Thousand One Hundred Seventy Three 22 /100 Dollars )

**Contractor Account**

|  |    |              |                      |
|--|----|--------------|----------------------|
| 1. Original Contract Price.....                                    | \$ | 3,060,025.50 |                      |
| 2. Authorized Additions.....                                       | \$ | 479,840.00   |                      |
| 3. Authorized Deductions.....                                      | \$ | 0.00         |                      |
| 4. Contract Price to Date (1 + 2 - 3).....                         |    |              | \$ 3,539,865.50      |
| 5. Estimated Value of Work Done to Date.....                       |    |              | \$ 1,098,034.36      |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ | 109,803.44   |                      |
| 7. Statutory Lien Holdback Released.....                           | \$ | 0.00         |                      |
| 8. Current Statutory Lien Holdback (6 - 7).....                    |    |              | \$ 109,803.44        |
| 9. Total Certified to Date (5 - 8).....                            |    |              | \$ 988,230.92        |
| 10. Amount Previously Certified (9 from previous certificate)..... |    |              | \$ 575,685.00        |
| 11. Amount of this Certificate (9 - 10).....                       |    |              | \$ <b>412,545.92</b> |
| 12. GST on Amount Certified (5% of 11).....                        |    |              | \$ 20,627.30         |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... |    |              | \$ <b>433,173.22</b> |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ | 2,551,634.58 |                      |

**Statutory Lien Holdback Account**

|  |    |            |                      |
|--|----|------------|----------------------|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ | 109,803.44 |                      |
| 16. Previous Statutory Lien Holdback (15 from previous certificate.).....    | \$ | 63,965.00  |                      |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ | 45,838.44  |                      |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ | 2,291.92   |                      |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... |    |            | \$ <b>48,130.36</b>  |
| <b>or</b>  |    |            |                      |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... |    |            | \$ 0.00              |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       |    |            | \$ <b>115,293.61</b> |

Per: \_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**

February 4, 2025

**For the Period**

**From:** December 1, 2024  
**To:** December 31, 2024

**Contractor**

Alumni Restorations Ltd.

4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**

Lionsgate Communities

1155 West Pender Street,  
Suite 620  
Vancouver BC V6E 2P4

**Distribution**

**CONTRACTOR:**

Beau Henderson

**OWNER:**

Dan Sander

**CONSULTANT(S) - RJC:**

Ilona Cervantes  
Reza Fallahtafi

**Project Name**

Bellevue Tower West -  
Balcony Restoration

**Project No.**

VAN.103256.0016

**PROGRESS PAYMENT No. 3**

| SUMMARY OF COSTS         |                                       |                        |                        |                         |                        |                        |                        |                      |                      |
|--------------------------|---------------------------------------|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|----------------------|
| Ref.                     | Item Description                      | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total    |
|                          | Lump Sum Contract Amount              | 3,060,025.00           | 639,650.00             | 458,384.36              | 1,098,034.36           | 35.88%                 | 1,961,990.64           | 109,803.44           | 988,230.92           |
|                          | Change Order                          | 479,840.00             | -                      | -                       | -                      | 0.00%                  | 479,840.00             | -                    | -                    |
|                          | <b>TOTAL</b>                          | <b>\$ 3,539,865.00</b> | <b>\$ 639,650.00</b>   | <b>\$ 458,384.36</b>    | <b>\$ 1,098,034.36</b> | <b>31.02%</b>          | <b>\$ 2,441,830.64</b> | <b>\$ 109,803.44</b> | <b>\$ 988,230.92</b> |
|                          |                                       |                        | Complete this Draw     | Lien Holdback           | Subtotal               |                        | Add GST                | <b>TOTAL</b>         |                      |
| <b>Total this claim:</b> |                                       |                        | <b>\$ 458,384.36</b>   | <b>\$ 45,838.44</b>     | <b>\$ 412,545.92</b>   |                        | <b>\$ 20,627.30</b>    | <b>\$</b>            | <b>433,173.22</b>    |
| CONTRACT                 |                                       |                        |                        |                         |                        |                        |                        |                      |                      |
| Ref.                     | Item Description                      | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total    |
| 1.1                      | Mock Up                               | 35,000.00              | 35,000.00              | 0.00                    | 35,000.00              | 100.00%                | 0.00                   | 3,500.00             | 31,500.00            |
| 1.2                      | Mobilization                          | 45,000.00              | 45,000.00              | 0.00                    | 45,000.00              | 100.00%                | 0.00                   | 4,500.00             | 40,500.00            |
| 1.3                      | General Requirements                  | 180,000.00             | 34,600.00              | 31,140.00               | 65,740.00              | 36.52%                 | 114,260.00             | 6,574.00             | 59,166.00            |
| 1.4                      | Demobilization                        | 25,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 25,000.00              | 0.00                 | 0.00                 |
| 1.5                      | Environmental Testing                 | 4,000.00               | 4,000.00               | 0.00                    | 4,000.00               | 100.00%                | 0.00                   | 400.00               | 3,600.00             |
| 1.6                      | Access                                | 336,000.00             | 69,050.00              | 62,145.00               | 131,195.00             | 39.05%                 | 204,805.00             | 13,119.50            | 118,075.50           |
| 1.7                      | Balcony Guard Walls                   | 685,000.00             | 342,500.00             | 0.00                    | 342,500.00             | 50.00%                 | 342,500.00             | 34,250.00            | 308,250.00           |
| 1.8                      | General Disposal                      | 40,000.00              | 0.00                   | 18,000.00               | 18,000.00              | 45.00%                 | 22,000.00              | 1,800.00             | 16,200.00            |
| 1.9                      | Guardrail Engineering                 | 10,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 10,000.00              | 0.00                 | 0.00                 |
| 1.10                     | Guardrails                            | 781,250.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 781,250.00             | 0.00                 | 0.00                 |
| 1.11                     | Maintenance Manual                    | 500.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 500.00                 | 0.00                 | 0.00                 |
| 1.12                     | Top Surface Delamination Repairs      | 50,000.00              | 0.00                   | 10,203.33               | 10,203.33              | 20.41%                 | 39,796.67              | 1,020.33             | 9,183.00             |
| 1.13                     | Full Depth Delamination Repairs       | 200,000.00             | 0.00                   | 154,543.33              | 154,543.33             | 77.27%                 | 45,456.67              | 15,454.33            | 139,089.00           |
| 1.14                     | Slab Soffit Repairs                   | 63,000.00              | 0.00                   | 760.20                  | 760.20                 | 1.21%                  | 62,239.80              | 76.02                | 684.18               |
| 1.15                     | Slab Edge Delamination Repairs        | 262,500.00             | 0.00                   | 181,542.50              | 181,542.50             | 69.16%                 | 80,957.50              | 18,154.25            | 163,388.25           |
| 1.16                     | Vertical Surface Delamination Repairs | 15,000.00              | 0.00                   | 50.00                   | 50.00                  | 0.33%                  | 14,950.00              | 5.00                 | 45.00                |
| 1.17                     | Metal Angle and Anchor Removal        | 125,000.00             | 109,500.00             | 0.00                    | 109,500.00             | 87.60%                 | 15,500.00              | 10,950.00            | 98,550.00            |
| 1.18                     | Metal Angle Coating                   | 75,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 75,000.00              | 0.00                 | 0.00                 |
| 1.19                     | Rout and Caulk Cracks                 | 900.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 900.00                 | 0.00                 | 0.00                 |
| 1.20                     | Deckote Installation on Balconies     | 80,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 80,000.00              | 0.00                 | 0.00                 |
| 1.21                     | Painting Balcony Soffits              | 46,875.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 46,875.00              | 0.00                 | 0.00                 |
|                          | <b>TOTAL</b>                          | <b>\$ 3,060,025.00</b> | <b>\$ 639,650.00</b>   | <b>\$ 458,384.36</b>    | <b>\$ 1,098,034.36</b> | <b>35.88%</b>          | <b>\$ 1,961,990.64</b> | <b>\$ 109,803.44</b> | <b>\$ 988,230.92</b> |
| CHANGE ORDERS            |                                       |                        |                        |                         |                        |                        |                        |                      |                      |
| Ref.                     | Item Description                      | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total    |
| CO - 1                   | Full Depth Delamination Repairs       | 285,000.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 285,000.00             | 0.00                 | 0.00                 |
| CO - 2                   | Top Surface Delamination Repairs      | 194,840.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 194,840.00             | 0.00                 | 0.00                 |
|                          | <b>TOTAL</b>                          | <b>\$ 479,840.00</b>   | <b>\$ -</b>            | <b>\$ -</b>             | <b>\$ -</b>            | <b>0.00%</b>           | <b>\$ 479,840.00</b>   | <b>\$ -</b>          | <b>\$ -</b>          |

**INVOICE**

January 30, 2025

To: Lionsgate Communities  
 C/O Ilona Cervantes  
 RJC  
 1285 West Broadway, Suite 300  
 Vancouver BC V6H 3X8



GST #: 87177-9427RT  
 Invoice #: 2429

**Re: Bellevue Tower West – Balcony Restoration  
 Progress Draw # 3**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$458 384.36   |
| Less 10% holdback: | (\$ 45 838.43) |
| Subtotal:          | \$412 545.93   |
| GST:               | \$ 20 627.30   |
| Total:             | \$433 173.23   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
 President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>   |                        |                        |                      |                      |
|--|------------------------|------------------------|----------------------|----------------------|
| <b>Progress Draw # 3</b>   |                        |                        |                      |                      |
| <b>Item</b>  | <b>Contract</b>        | <b>Total</b>           | <b>Previous</b>      | <b>Current</b>       |
| Mock up  | \$ 35,000.00           | \$ 35,000.00           | \$ 35,000.00         | \$ -                 |
| Mobilization   | \$ 45,000.00           | \$ 45,000.00           | \$ 45,000.00         | \$ -                 |
| General requirements   | \$ 180,000.00          | \$ 65,740.00           | \$ 34,600.00         | \$ 31,140.00         |
| Demobilization   | \$ 25,000.00           | \$ -                   | \$ -                 | \$ -                 |
| Environmental testing  | \$ 4,000.00            | \$ 4,000.00            | \$ 4,000.00          | \$ -                 |
| Access   | \$ 336,000.00          | \$ 131,195.00          | \$ 69,050.00         | \$ 62,145.00         |
| Balcony guard walls  | \$ 685,000.00          | \$ 342,500.00          | \$ 342,500.00        | \$ -                 |
| General disposal   | \$ 40,000.00           | \$ 18,000.00           | \$ -                 | \$ 18,000.00         |
| Guardrail engineering  | \$ 10,000.00           | \$ -                   | \$ -                 | \$ -                 |
| Guardrails   | \$ 781,250.00          | \$ -                   | \$ -                 | \$ -                 |
| Maintenance manual   | \$ 500.00              | \$ -                   | \$ -                 | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft                   | \$ 50,000.00           | \$ 10,203.33           | \$ -                 | \$ 10,203.33         |
| Full depth delamination repairs - \$500/sq.ft.                   | \$ 200,000.00          | \$ 154,543.33          | \$ -                 | \$ 154,543.33        |
| Slab soffit repairs - \$315/sq.ft.                               | \$ 63,000.00           | \$ 760.20              | \$ -                 | \$ 760.20            |
| Slab edge delamination repairs - \$375/sq.ft.                    | \$ 262,500.00          | \$ 181,542.50          | \$ -                 | \$ 181,542.50        |
| Vertical surface delamination repairs - \$300/sq/ft/.            | \$ 15,000.00           | \$ 50.00               | \$ -                 | \$ 50.00             |
| Metal angle and anchor removal - \$250 each                      | \$ 125,000.00          | \$ 109,500.00          | \$ 109,500.00        | \$ -                 |
| Metal angle coating - \$200 each                                 | \$ 75,000.00           | \$ -                   | \$ -                 | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                             | \$ 900.00              | \$ -                   | \$ -                 | \$ -                 |
| Deckote installation on balconies                                | \$ 80,000.00           | \$ -                   | \$ -                 | \$ -                 |
| Painting balcony soffits   | \$ 46,875.00           | \$ -                   | \$ -                 | \$ -                 |
| CO 1   |                        |                        |                      |                      |
| Full depth delamination repairs - \$500/sq.ft.                   | \$ 265,000.00          | \$ -                   | \$ -                 | \$ -                 |
| Metal angle and anchor removal - \$250 each                      | \$ 95,500.00           | \$ -                   | \$ -                 | \$ -                 |
| Metal angle coating - \$200 each                                 | -\$ 75,000.00          | \$ -                   | \$ -                 | \$ -                 |
| CO 2   |                        |                        |                      |                      |
| Top surface delamination repairs - \$250/sq.ft                   | -\$ 17,500.00          | \$ -                   | \$ -                 | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                               | -\$ 59,850.00          | \$ -                   | \$ -                 | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.                    | \$ 285,000.00          | \$ -                   | \$ -                 | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft/.            | -\$ 12,000.00          | \$ -                   | \$ -                 | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                             | -\$ 810.00             | \$ -                   | \$ -                 | \$ -                 |
|  | <b>\$ 3,540,365.00</b> | <b>\$ 1,098,034.36</b> | <b>\$ 639,650.00</b> | <b>\$ 458,384.36</b> |
| General requirements \$3460/week                                 |                        |                        |                      |                      |
| Access \$6905/week   |                        |                        |                      |                      |
| Balcony guardrails -744 panels @ \$920.70 each                   |                        |                        |                      |                      |
| All guardrails completed on half the building                    |                        |                        |                      |                      |
| Metal angle and anchor removal<br>438 on the south and east side |                        |                        |                      |                      |

# Statutory Declaration of Progress Payment Distribution by Contractor

Standard Construction Document

## CCDC 9A – 2018

To be made by the Contractor as a condition for either

- second and subsequent progress payments; or
- release of holdback.

Application for payment number 1  
 dated October 30, 2024 is the last  
 application for payment for which the Contractor has  
 received payment.

### Information Appearing in the Contract Documents

Name of Project  
Bellevue Tower West - Balcony Restoration

Date of Contract: September 20, 2024

Name of Owner  
Lionsgate Communities

Name of Contractor  
Alumni Restorations Ltd.

### Declaration


I solemnly declare that, as of the date of this declaration, I am an authorized signing officer, partner or sole proprietor of the Contractor, and as such have authority to bind the Contractor, and have personal knowledge of the fact that all accounts for labour, subcontracts, products, services, and construction machinery and equipment which have been incurred directly by the Contractor in the performance of the work as required by the Contract, and for which the Owner might in any way be held responsible, have been paid in full as required by the Contract up to and including the latest progress payment received, as identified above, except for:


- 1) holdback monies properly retained,
- 2) payments deferred by agreement, or
- 3) payment withheld by reason of legitimate dispute which has been identified to the party or parties from whom payment has been withheld.

I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Declared before me in West Vancouver, BC this 31 day of January in the year 2025  
City/Town and Province

Maurice Hulscher  
Name  
President  
Title

  
Signature

  
(A Commissioner for Oaths, Notary Public, Justice of the Peace, etc.)

**The making of a false or fraudulent declaration is a contravention of the Criminal Code of Canada, and could carry, upon conviction, penalties including fines or imprisonment.**

This agreement is protected by copyright and is intended by the parties to be an unaltered version of CCDC 9 – 2018 except to the extent that any alterations, additions or modifications are set forth in supplementary conditions.



Use of this form without a CCDC 9 copyright seal constitutes an infringement of copyright. Use of this form with a CCDC 9 copyright seal demonstrates that it is intended by the parties to be an accurate and unamended version of CCDC 9A – 2018.

**Danielle Catherine Hulscher**  
 A Commissioner for Taking Affidavits for British Columbia  
 Expires: November 30, 2026

**CCDC** Copyright 2018  
 Canadian Construction Documents Committee



WORKING TO MAKE A DIFFERENCE

**Assessment Department**

**Mailing Address**  
PO Box 5350  
Station Terminal  
Vancouver BC V6B 5L5

20

**Location**

6951 Westminster Highway  
Richmond BC  
V7C 1C6  
www.worksafebc.com

**Clearance Section**

Telephone 604 244 6380  
Toll Free within Canada  
1 888 922 2768  
Fax 604 244 6390

Lionsgate Communities  
c/o Read Jones Christoffersen Ltd.  
1285 West Broadway, Suite 300  
VANCOUVER, BC V6H 3X8

February 04, 2025

Person/Business : ALUMNI RESTORATIONS LTD  
Account number : 624848

This letter provides clearance information for the purposes of Section 258 of the *Workers Compensation Act*.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to April 01, 2025.

This firm has had continuous coverage with us since March 29, 1999.

Employer Service Centre  
Assessment Department

Clearance Reference # : C135460362  
CLRAAA

For more information about Section 258 and clearance letters visit [WorkSafeBC.com](http://WorkSafeBC.com)

*Please refer to your account number in your correspondence or when contacting the Assessment Department.*

To alter this document constitutes fraud.



March 10, 2025

Dan Sander  
 Lionsgate Communities  
 1155 West Pender Street, Suite 620  
 Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration**  
**195 21st Street West Vancouver BC – Certificate for Payment #4**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 4 in the amount of **\$222,049.95** (including GST) and Progress Summary No. 4, dated March 10, 2025.
- Alumni Restorations Ltd.'s invoice #2432 dated February 28, 2025, for work completed to February 28, 2025. Invoice and supporting documents received by RJC on February 28, 2025.
- Statutory Declaration dated February 28, 2025, received by RJC on March 6, 2025.
- WorkSafe BC Letter of Good Standing dated March 10, 2025.

Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.

A handwritten signature in black ink, appearing to read 'Reza'.

Reza Fallahtafti  
 Designer

*Reviewed by:*

A handwritten signature in black ink, appearing to read 'Ilona'.

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
 Project Engineer

RFT/jpy



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**

is entitled (subject to possible claims of any others, such as lien holders) to a payment of:

**\$222,049.95** (includes GST/HST where applicable)

( Two Hundred Twenty Two Thousand Forty Nine 95 /100 Dollars )

**Contractor Account**

|  |    |              |                      |
|--|----|--------------|----------------------|
| 1. Original Contract Price.....                                    | \$ | 3,060,025.50 |                      |
| 2. Authorized Additions.....                                       | \$ | 480,340.00   |                      |
| 3. Authorized Deductions.....                                      | \$ | 0.00         |                      |
| 4. Contract Price to Date (1 + 2 - 3).....                         |    |              | \$ 3,540,365.50      |
| 5. Estimated Value of Work Done to Date.....                       |    |              | \$ 1,333,007.84      |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ | 133,300.78   |                      |
| 7. Statutory Lien Holdback Released.....                           | \$ | 0.00         |                      |
| 8. Current Statutory Lien Holdback (6 - 7).....                    |    |              | \$ 133,300.78        |
| 9. Total Certified to Date (5 - 8).....                            |    |              | \$ 1,199,707.06      |
| 10. Amount Previously Certified (9 from previous certificate)..... |    |              | \$ 988,230.92        |
| 11. Amount of this Certificate (9 - 10).....                       |    |              | \$ <b>211,476.14</b> |
| 12. GST on Amount Certified (5% of 11).....                        |    |              | \$ 10,573.81         |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... |    |              | \$ <b>222,049.95</b> |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ | 2,340,658.44 |                      |

**Statutory Lien Holdback Account**

|  |    |            |                      |
|--|----|------------|----------------------|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ | 133,300.78 |                      |
| 16. Previous Statutory Lien Holdback (15 from previous certificate.).....    | \$ | 109,803.44 |                      |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ | 23,497.34  |                      |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ | 1,174.87   |                      |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... |    |            | \$ <b>24,672.21</b>  |
| <b>or</b>  |    |            |                      |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... |    |            | \$ 0.00              |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       |    |            | \$ <b>139,965.82</b> |

Per: \_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**

March 10, 2025

**For the Period**

From: January 1, 2025

To: February 28, 2025

**Contractor**

Alumni Restorations Ltd.

4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**

Lionsgate Communities

1155 West Pender Street,  
Suite 620  
Vancouver BC V6E 2P4

**Distribution**

**CONTRACTOR:**

Beau Henderson

**OWNER:**

Dan Sander

**CONSULTANT(S) - RJC:**

Ilona Cervantes  
Reza Fallahtafi

**Project Name**

Bellevue Tower West -  
Balcony Restoration

**Project No.**

VAN.103256.0016

**PROGRESS PAYMENT No. 4**

| SUMMARY OF COSTS         |   |                        |                        |                         |                        |                        |                        |                      |                        |
|--------------------------|---|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.                     | Item Description                              | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
|                          | Lump Sum Contract Amount                      | 3,060,025.00           | 1,098,034.36           | 226,339.98              | 1,324,374.34           | 43.28%                 | 1,735,650.66           | 132,437.43           | 1,191,936.91           |
|                          | Change Order                                  | 480,340.00             | -                      | 8,633.50                | 8,633.50               | 1.80%                  | 471,706.50             | 863.35               | 7,770.15               |
|                          | <b>TOTAL</b>                                  | <b>\$ 3,540,365.00</b> | <b>\$ 1,098,034.36</b> | <b>\$ 234,973.48</b>    | <b>\$ 1,333,007.84</b> | <b>37.65%</b>          | <b>\$ 2,207,357.16</b> | <b>\$ 133,300.78</b> | <b>\$ 1,199,707.06</b> |
|                          |   |                        | Complete this Draw     | Lien Holdback           | Subtotal               |                        | Add GST                |                      | <b>TOTAL</b>           |
| <b>Total this claim:</b> |   |                        | <b>\$ 234,973.48</b>   | <b>\$ 23,497.35</b>     | <b>\$ 211,476.13</b>   |                        | <b>\$ 10,573.81</b>    |                      | <b>\$ 222,049.94</b>   |
| CONTRACT                 |   |                        |                        |                         |                        |                        |                        |                      |                        |
| Ref.                     | Item Description                              | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
| 1.1                      | Mock Up                                       | 35,000.00              | 35,000.00              | 0.00                    | 35,000.00              | 100.00%                | 0.00                   | 3,500.00             | 31,500.00              |
| 1.2                      | Mobilization                                  | 45,000.00              | 45,000.00              | 0.00                    | 45,000.00              | 100.00%                | 0.00                   | 4,500.00             | 40,500.00              |
| 1.3                      | General Requirements                          | 180,000.00             | 65,740.00              | 13,840.00               | 79,580.00              | 44.21%                 | 100,420.00             | 7,958.00             | 71,622.00              |
| 1.4                      | Demobilization                                | 25,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 25,000.00              | 0.00                 | 0.00                   |
| 1.5                      | Environmental Testing                         | 4,000.00               | 4,000.00               | 0.00                    | 4,000.00               | 100.00%                | 0.00                   | 400.00               | 3,600.00               |
| 1.6                      | Access  | 336,000.00             | 131,195.00             | 27,620.00               | 158,815.00             | 47.27%                 | 177,185.00             | 15,881.50            | 142,933.50             |
| 1.7                      | Balcony Guard Walls - Demolition and Disposal | 685,000.00             | 342,500.00             | 63,528.70               | 406,028.70             | 59.27%                 | 278,971.30             | 40,602.87            | 365,425.83             |
| 1.8                      | General Disposal                              | 40,000.00              | 18,000.00              | 2,000.00                | 20,000.00              | 50.00%                 | 20,000.00              | 2,000.00             | 18,000.00              |
| 1.9                      | Guardrail Engineering                         | 10,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 10,000.00              | 0.00                 | 0.00                   |
| 1.10                     | Guardrails                                    | 781,250.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 781,250.00             | 0.00                 | 0.00                   |
| 1.11                     | Maintenance Manual                            | 500.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 500.00                 | 0.00                 | 0.00                   |
| 1.12                     | Top Surface Delamination Repairs              | 50,000.00              | 10,203.33              | 3,571.17                | 13,774.50              | 27.55%                 | 36,225.50              | 1,377.45             | 12,397.05              |
| 1.13                     | Full Depth Dalmation Repairs                  | 200,000.00             | 154,543.33             | 45,456.67               | 200,000.00             | 100.00%                | 0.00                   | 20,000.00            | 180,000.00             |
| 1.14                     | Slab Soffit Repairs                           | 63,000.00              | 760.20                 | 266.07                  | 1,026.27               | 1.63%                  | 61,973.73              | 102.63               | 923.64                 |
| 1.15                     | Slab Edge Delamination Repairs                | 262,500.00             | 181,542.50             | 63,539.87               | 245,082.37             | 93.36%                 | 17,417.63              | 24,508.24            | 220,574.13             |
| 1.16                     | Vertical Surface Delamination Repairs         | 15,000.00              | 50.00                  | 17.50                   | 67.50                  | 0.45%                  | 14,932.50              | 6.75                 | 60.75                  |
| 1.17                     | Metal Angle and Anchor Removal                | 125,000.00             | 109,500.00             | 6,500.00                | 116,000.00             | 92.80%                 | 9,000.00               | 11,600.00            | 104,400.00             |
| 1.18                     | Metal Angle Coating                           | 75,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 75,000.00              | 0.00                 | 0.00                   |
| 1.19                     | Rout and Caulk Cracks                         | 900.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 900.00                 | 0.00                 | 0.00                   |
| 1.20                     | Deckote Installation on Balconies             | 80,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 80,000.00              | 0.00                 | 0.00                   |
| 1.21                     | Painting Balcony Soffits                      | 46,875.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 46,875.00              | 0.00                 | 0.00                   |
|                          | <b>TOTAL</b>                                  | <b>\$ 3,060,025.00</b> | <b>\$ 1,098,034.36</b> | <b>\$ 226,339.98</b>    | <b>\$ 1,324,374.34</b> | <b>43.28%</b>          | <b>\$ 1,735,650.66</b> | <b>\$ 132,437.43</b> | <b>\$ 1,191,936.91</b> |
| CHANGE ORDERS            |   |                        |                        |                         |                        |                        |                        |                      |                        |
| Ref.                     | Item Description                              | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
| CO - 1                   | Full depth delamination repair                | 265,000.00             | 0.00                   | 8,633.50                | 8,633.50               | 3.26%                  | 256,366.50             | 863.35               | 7,770.15               |
| CO - 1                   | Metal angle and anchor removal                | 95,500.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 95,500.00              | 0.00                 | 0.00                   |
| CO - 1                   | Metal Angle Coating                           | -75,000.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | -75,000.00             | 0.00                 | 0.00                   |
| CO - 2                   | Top surface delamination repair               | -17,500.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | -17,500.00             | 0.00                 | 0.00                   |
| CO - 2                   | Soffit delamination repair                    | -59,850.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | -59,850.00             | 0.00                 | 0.00                   |
| CO - 2                   | Slab edge concrete delamination repair        | 285,000.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 285,000.00             | 0.00                 | 0.00                   |
| CO - 2                   | Vertical surface delamination repair          | -12,000.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | -12,000.00             | 0.00                 | 0.00                   |
| CO - 2                   | Rout and caulk cracks                         | -810.00                | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | -810.00                | 0.00                 | 0.00                   |
|                          | <b>TOTAL</b>                                  | <b>\$ 480,340.00</b>   | <b>\$ -</b>            | <b>\$ 8,633.50</b>      | <b>\$ 8,633.50</b>     | <b>1.80%</b>           | <b>\$ 471,706.50</b>   | <b>\$ 863.35</b>     | <b>\$ 7,770.15</b>     |

**INVOICE**

February 28, 2025

To: Lionsgate Communities  
 C/O Ilona Cervantes  
 RJC  
 1285 West Broadway, Suite 300  
 Vancouver BC V6H 3X8



GST #:87177-9427RT  
 Invoice #:2432

**Re: Bellevue Tower West – Balcony Restoration  
 Progress Draw # 4**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$234 973.48   |
| Less 10% holdback: | (\$ 23 497.35) |
| Subtotal:          | \$211 476.13   |
| GST:               | \$ 10 573.81   |
| Total:             | \$222 049.94   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
 President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>                                |                        | 25                     |                        |                      |
|---|------------------------|------------------------|------------------------|----------------------|
| <b>Progress Draw # 4</b>                              |                        |                        |                        |                      |
| <b>Item</b>   | <b>Contract</b>        | <b>Total</b>           | <b>Previous</b>        | <b>Current</b>       |
| Mock up   | \$ 35,000.00           | \$ 35,000.00           | \$ 35,000.00           | \$ -                 |
| Mobilization  | \$ 45,000.00           | \$ 45,000.00           | \$ 45,000.00           | \$ -                 |
| General requirements                                  | \$ 180,000.00          | \$ 79,580.00           | \$ 65,740.00           | \$ 13,840.00         |
| Demobilization  | \$ 25,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Environmental testing                                 | \$ 4,000.00            | \$ 4,000.00            | \$ 4,000.00            | \$ -                 |
| Access  | \$ 336,000.00          | \$ 158,815.00          | \$ 131,195.00          | \$ 27,620.00         |
| Balcony guard walls                                   | \$ 685,000.00          | \$ 406,028.70          | \$ 342,500.00          | \$ 63,528.70         |
| General disposal                                      | \$ 40,000.00           | \$ 20,000.00           | \$ 18,000.00           | \$ 2,000.00          |
| Guardrail engineering                                 | \$ 10,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Guardrails  | \$ 781,250.00          | \$ -                   | \$ -                   | \$ -                 |
| Maintenance manual                                    | \$ 500.00              | \$ -                   | \$ -                   | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft        | \$ 50,000.00           | \$ 13,774.50           | \$ 10,203.33           | \$ 3,571.17          |
| Full depth delamination repairs - \$500/sq.ft.        | \$ 200,000.00          | \$ 200,000.00          | \$ 154,543.33          | \$ 45,456.67         |
| Slab soffit repairs - \$315/sq.ft.                    | \$ 63,000.00           | \$ 1,026.27            | \$ 760.20              | \$ 266.07            |
| Slab edge delamination repairs - \$375/sq.ft.         | \$ 262,500.00          | \$ 245,082.37          | \$ 181,542.50          | \$ 63,539.87         |
| Vertical surface delamination repairs - \$300/sq/ft/. | \$ 15,000.00           | \$ 67.50               | \$ 50.00               | \$ 17.50             |
| Metal angle and anchor removal - \$250 each           | \$ 125,000.00          | \$ 116,000.00          | \$ 109,500.00          | \$ 6,500.00          |
| Metal angle coating - \$200 each                      | \$ 75,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                  | \$ 900.00              | \$ -                   | \$ -                   | \$ -                 |
| Deckote installation on balconies                     | \$ 80,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Painting balcony soffits                              | \$ 46,875.00           | \$ -                   | \$ -                   | \$ -                 |
| CO 1  |                        |                        |                        |                      |
| Full depth delamination repairs - \$500/sq.ft.        | \$ 265,000.00          | \$ 8,633.50            | \$ -                   | \$ 8,633.50          |
| Metal angle and anchor removal - \$250 each           | \$ 95,500.00           | \$ -                   | \$ -                   | \$ -                 |
| Metal angle coating - \$200 each                      | -\$ 75,000.00          | \$ -                   | \$ -                   | \$ -                 |
| CO 2  |                        |                        |                        |                      |
| Top surface delamination repairs - \$250/sq.ft        | -\$ 17,500.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                    | -\$ 59,850.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.         | \$ 285,000.00          | \$ -                   | \$ -                   | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft/. | -\$ 12,000.00          | \$ -                   | \$ -                   | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                  | -\$ 810.00             | \$ -                   | \$ -                   | \$ -                 |
|   | <b>\$ 3,540,365.00</b> | <b>\$ 1,333,007.84</b> | <b>\$ 1,098,034.36</b> | <b>\$ 234,973.48</b> |
| General requirements \$3460/week                      |                        |                        |                        |                      |
| Access \$6905/week                                    |                        |                        |                        |                      |
| Balcony guardrails -744 panels @ \$920.70 each        |                        |                        |                        |                      |
| <i>All guardrails completed on half the building</i>  |                        |                        |                        |                      |
| <i>Drop 6 26</i>                                      |                        |                        |                        |                      |
| <i>Drop 5 43</i>                                      |                        |                        |                        |                      |
| Metal angle and anchor removal                        |                        |                        |                        |                      |
| <i>438 on the south and east side</i>                 |                        |                        |                        |                      |
| <i>26 on drop 6</i>                                   |                        |                        |                        |                      |

# Statutory Declaration of Progress Payment Distribution by Contractor

## CCDC 9A - 2018

To be made by the Contractor as a condition for either

- second and subsequent progress payments; or
- release of holdback.

Application for payment number 3  
 dated 31 January 2025 is the last  
 application for payment for which the Contractor has  
 received payment.

### Information Appearing in the Contract Documents

|   |   |
|---|---|
| Name of Project<br><b>Bellevue Tower West - Balcony Restoration</b> |   |
| Date of Contract: <u>September 20, 2024</u>                         |   |
| Name of Owner<br><b>Lionsgate Communities</b>                       | Name of Contractor<br><b>Alumni Restorations Ltd.</b> |

### Declaration


I solemnly declare that, as of the date of this declaration, I am an authorized signing officer, partner or sole proprietor of the Contractor, and as such have authority to bind the Contractor, and have personal knowledge of the fact that all accounts for labour, subcontracts, products, services, and construction machinery and equipment which have been incurred directly by the Contractor in the performance of the work as required by the Contract, and for which the Owner might in any way be held responsible, have been paid in full as required by the Contract up to and including the latest progress payment received, as identified above, except for:


- 1) holdback monies properly retained,
- 2) payments deferred by agreement, or
- 3) payment withheld by reason of legitimate dispute which has been identified to the party or parties from whom payment has been withheld.

I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Declared before me in West Vancouver, BC this 28 day of February in the year 2025  
City/Town and Province

Maurice Hulscher  
Name  
President  
Title

  
Signature

  
(A Commissioner for Oaths, Notary Public, Justice of the Peace, etc.)

**The making of a false or fraudulent declaration is a contravention of the Criminal Code of Canada, and could carry, upon conviction, penalties including fines or imprisonment.**

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**CCDC** Copyright 2018  
**Danielle Catherine Hulscher**  
 A Commissioner for Taking Affidavits for British Columbia  
 Expires: November 30, 2026



WORKING TO MAKE A DIFFERENCE

<sup>27</sup>  
**Assessment Department**

**Mailing Address**

PO Box 5350  
Station Terminal  
Vancouver BC V6B 5L5

**Location**

6951 Westminster Highway  
Richmond BC  
V7C 1C6  
www.worksafebc.com

**Clearance Section**

Telephone 604 244 6380  
Toll Free within Canada  
1 888 922 2768  
Fax 604 244 6390

Lionsgate Communities  
c/o Read Jones Christoffersen Ltd.  
1285 West Broadway, Suite 300  
VANCOUVER, BC V6H 3X8

March 10, 2025

Person/Business : ALUMNI RESTORATIONS LTD  
Account number : 624848

This letter provides clearance information for the purposes of Section 258 of the *Workers Compensation Act*.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to April 01, 2025.

This firm has had continuous coverage with us since March 29, 1999.

Employer Service Centre  
Assessment Department

Clearance Reference # : C135546065  
CLRAAA

For more information about Section 258 and clearance letters visit [WorkSafeBC.com](http://WorkSafeBC.com)

*Please refer to your account number in your correspondence or when contacting the Assessment Department.*

To alter this document constitutes fraud.



April 7, 2025

Dan Sander  
 Lionsgate Communities  
 1155 West Pender Street, Suite 620  
 Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
 195 21st Street West Vancouver BC – Certificate for Payment #5**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 5 in the amount of **\$235,654.08** (including GST) and Progress Summary No. 5, dated April 7, 2025.
- Alumni Restorations Ltd.'s invoice #2436 dated March 31, 2025, for work completed to March 31, 2025. Invoice and supporting documents received by RJC on April 3, 2025.
- Statutory Declaration dated March 31, 2025, received by RJC on April 7, 2025.
- WorkSafe BC Letter of Good Standing dated April 7, 2025.

Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.

A handwritten signature in black ink, appearing to read 'Reza'.

Reza Fallahtafti  
 Designer

*Reviewed by:*

A handwritten signature in black ink, appearing to read 'Ilona'.

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
 Project Engineer

RFT/jpy



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**

is entitled (subject to possible claims of any others, such as lien holders) to a payment of:

**\$235,654.08** (includes GST/HST where applicable)

( Two Hundred Thirty Five Thousand Six Hundred Fifty Four 08 /100 Dollars )

**Contractor Account**

|  |    |              |                      |
|--|----|--------------|----------------------|
| 1. Original Contract Price.....                                    | \$ | 3,060,025.50 |                      |
| 2. Authorized Additions.....                                       | \$ | 534,840.00   |                      |
| 3. Authorized Deductions.....                                      | \$ | 0.00         |                      |
| 4. Contract Price to Date (1 + 2 - 3).....                         |    |              | \$ 3,594,865.50      |
| 5. Estimated Value of Work Done to Date.....                       | \$ | 1,582,377.24 |                      |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ | 158,237.72   |                      |
| 7. Statutory Lien Holdback Released.....                           | \$ | 0.00         |                      |
| 8. Current Statutory Lien Holdback (6 - 7).....                    |    |              | \$ 158,237.72        |
| 9. Total Certified to Date (5 - 8).....                            |    |              | \$ 1,424,139.52      |
| 10. Amount Previously Certified (9 from previous certificate)..... |    |              | \$ 1,199,707.06      |
| 11. Amount of this Certificate (9 - 10).....                       |    |              | \$ <b>224,432.46</b> |
| 12. GST on Amount Certified (5% of 11).....                        |    |              | \$ 11,221.62         |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... |    |              | \$ <b>235,654.08</b> |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ | 2,170,725.98 |                      |

**Statutory Lien Holdback Account**

|  |    |            |                      |
|--|----|------------|----------------------|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ | 158,237.72 |                      |
| 16. Previous Statutory Lien Holdback (15 from previous certificate.).....    | \$ | 133,300.78 |                      |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ | 24,936.94  |                      |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ | 1,246.85   |                      |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... |    |            | \$ <b>26,183.79</b>  |
| <b>or</b>  |    |            |                      |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... |    |            | \$ 0.00              |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       |    |            | \$ <b>166,149.61</b> |

Per: \_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**

April 7, 2025

**For the Period**

From: March 1, 2025

To: March 31, 2025

**Contractor**

Alumni Restorations Ltd.

4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**

Lionsgate Communities

1155 West Pender Street,  
Suite 620  
Vancouver BC V6E 2P4

**Distribution**

**CONTRACTOR:**

Beau Henderson

**OWNER:**

Dan Sander

**CONSULTANT(S) - RJC:**

Ilona Cervantes  
Reza Fallahtafti

**Project Name**

Bellevue Tower West -  
Balcony Restoration

**Project No.**

VAN.103256.0016

**PROGRESS PAYMENT No. 5**

| SUMMARY OF COSTS         |                          |                        |                        |                         |                        |                        |                        |                      |                        |
|--------------------------|--------------------------|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.                     | Item Description         | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
|                          | Lump Sum Contract Amount | 3,060,025.00           | 1,324,374.34           | 182,619.40              | 1,506,993.74           | 49.25%                 | 1,553,031.26           | 150,699.37           | 1,356,294.37           |
|                          | Change Order             | 534,840.00             | 8,633.50               | 66,750.00               | 75,383.50              | 14.09%                 | 459,456.50             | 7,538.35             | 67,845.15              |
|                          | <b>TOTAL</b>             | <b>\$ 3,594,865.00</b> | <b>\$ 1,333,007.84</b> | <b>\$ 249,369.40</b>    | <b>\$ 1,582,377.24</b> | <b>44.02%</b>          | <b>\$ 2,012,487.76</b> | <b>\$ 158,237.72</b> | <b>\$ 1,424,139.52</b> |
|                          |                          |                        | Complete this Draw     | Lien Holdback           | Subtotal               |                        | Add GST                |                      | <b>TOTAL</b>           |
| <b>Total this claim:</b> |                          |                        | <b>\$ 249,369.40</b>   | <b>\$ 24,936.94</b>     | <b>\$ 224,432.46</b>   |                        | <b>\$ 11,221.62</b>    |                      | <b>\$ 235,654.08</b>   |

| CONTRACT |   |                        |                        |                         |                        |                        |                        |                      |                        |
|----------|---|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.     | Item Description                              | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
| 1.1      | Mock Up                                       | 35,000.00              | 35,000.00              | 0.00                    | 35,000.00              | 100.00%                | 0.00                   | 3,500.00             | 31,500.00              |
| 1.2      | Mobilization                                  | 45,000.00              | 45,000.00              | 0.00                    | 45,000.00              | 100.00%                | 0.00                   | 4,500.00             | 40,500.00              |
| 1.3      | General Requirements                          | 180,000.00             | 79,580.00              | 13,840.00               | 93,420.00              | 51.90%                 | 86,580.00              | 9,342.00             | 84,078.00              |
| 1.4      | Demobilization                                | 25,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 25,000.00              | 0.00                 | 0.00                   |
| 1.5      | Environmental Testing                         | 4,000.00               | 4,000.00               | 0.00                    | 4,000.00               | 100.00%                | 0.00                   | 400.00               | 3,600.00               |
| 1.6      | Access  | 336,000.00             | 158,815.00             | 27,620.00               | 186,435.00             | 55.49%                 | 149,565.00             | 18,643.50            | 167,791.50             |
| 1.7      | Balcony Guard Walls - Demolition and Disposal | 685,000.00             | 406,028.70             | 97,721.90               | 503,750.60             | 73.54%                 | 181,249.40             | 50,375.06            | 453,375.54             |
| 1.8      | General Disposal                              | 40,000.00              | 20,000.00              | 6,000.00                | 26,000.00              | 65.00%                 | 14,000.00              | 2,600.00             | 23,400.00              |
| 1.9      | Guardrail Engineering                         | 10,000.00              | 0.00                   | 5,000.00                | 5,000.00               | 50.00%                 | 5,000.00               | 500.00               | 4,500.00               |
| 1.10     | Guardrails                                    | 781,250.00             | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 781,250.00             | 0.00                 | 0.00                   |
| 1.11     | Maintenance Manual                            | 500.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 500.00                 | 0.00                 | 0.00                   |
| 1.12     | Top Surface Delamination Repairs              | 50,000.00              | 13,774.50              | 0.00                    | 13,774.50              | 27.55%                 | 36,225.50              | 1,377.45             | 12,397.05              |
| 1.13     | Full Depth Dalmation Repairs                  | 200,000.00             | 200,000.00             | 0.00                    | 200,000.00             | 100.00%                | 0.00                   | 20,000.00            | 180,000.00             |
| 1.14     | Slab Soffit Repairs                           | 63,000.00              | 1,026.27               | 0.00                    | 1,026.27               | 1.63%                  | 61,973.73              | 102.63               | 923.64                 |
| 1.15     | Slab Edge Delamination Repairs                | 262,500.00             | 245,082.37             | 0.00                    | 245,082.37             | 93.36%                 | 17,417.63              | 24,508.24            | 220,574.13             |
| 1.16     | Vertical Surface Delamination Repairs         | 15,000.00              | 67.50                  | 0.00                    | 67.50                  | 0.45%                  | 14,932.50              | 6.75                 | 60.75                  |
| 1.17     | Metal Angle and Anchor Removal                | 125,000.00             | 116,000.00             | 9,000.00                | 125,000.00             | 100.00%                | 0.00                   | 12,500.00            | 112,500.00             |
| 1.18     | Metal Angle Coating                           | 75,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 75,000.00              | 0.00                 | 0.00                   |
| 1.19     | Rout and Caulk Cracks                         | 900.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 900.00                 | 0.00                 | 0.00                   |
| 1.20     | Deckote Installation on Balconies             | 80,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 80,000.00              | 0.00                 | 0.00                   |
| 1.21     | Painting Balcony Soffits                      | 46,875.00              | 0.00                   | 23,437.50               | 23,437.50              | 50.00%                 | 23,437.50              | 2,343.75             | 21,093.75              |
|          | <b>TOTAL</b>                                  | <b>\$ 3,060,025.00</b> | <b>\$ 1,324,374.34</b> | <b>\$ 182,619.40</b>    | <b>\$ 1,506,993.74</b> | <b>49.25%</b>          | <b>\$ 1,553,031.26</b> | <b>\$ 150,699.37</b> | <b>\$ 1,356,294.37</b> |

| CHANGE ORDERS |  |                      |                        |                         |                     |                        |                        |                     |                     |
|---------------|--|----------------------|------------------------|-------------------------|---------------------|------------------------|------------------------|---------------------|---------------------|
| Ref.          | Item Description                                       | Current Budget       | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total   |
| CO - 1        | Full depth delamination repair                         | 265,000.00           | 8,633.50               | 0.00                    | 8,633.50            | 3.26%                  | 256,366.50             | 863.35              | 7,770.15            |
| CO - 1        | Metal angle and anchor removal                         | 95,500.00            | 0.00                   | 39,500.00               | 39,500.00           | 41.36%                 | 56,000.00              | 3,950.00            | 35,550.00           |
| CO - 1        | Metal Angle Coating                                    | -75,000.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -75,000.00             | 0.00                | 0.00                |
| CO - 2        | Top surface delamination repair                        | -17,500.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -17,500.00             | 0.00                | 0.00                |
| CO - 2        | Soffit delamination repair                             | -59,850.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -59,850.00             | 0.00                | 0.00                |
| CO - 2        | Slab edge concrete delamination repair                 | 285,000.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | 285,000.00             | 0.00                | 0.00                |
| CO - 2        | Vertical surface delamination repair                   | -12,000.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -12,000.00             | 0.00                | 0.00                |
| CO - 2        | Rout and caulk cracks                                  | -810.00              | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -810.00                | 0.00                | 0.00                |
| CO - 3        | Option 1 - Painting all the walls within the balconies | 54,500.00            | 0.00                   | 27,250.00               | 27,250.00           | 50.00%                 | 27,250.00              | 2,725.00            | 24,525.00           |
|               | <b>TOTAL</b>   | <b>\$ 534,840.00</b> | <b>\$ 8,633.50</b>     | <b>\$ 66,750.00</b>     | <b>\$ 75,383.50</b> | <b>14.09%</b>          | <b>\$ 459,456.50</b>   | <b>\$ 7,538.35</b>  | <b>\$ 67,845.15</b> |

**INVOICE**

31 March 2025

To: Lionsgate Communities  
 C/O Ilona Cervantes  
 RJC  
 1285 West Broadway, Suite 300  
 Vancouver BC V6H 3X8



GST #: 87177-9427RT  
 Invoice #: 2436

**Re: Bellevue Tower West – Balcony Restoration  
 Progress Draw # 5**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$249 369.40   |
| Less 10% holdback: | (\$ 24 936.94) |
| Subtotal:          | \$224 432.46   |
| GST:               | \$ 11 221.62   |
| Total:             | \$235 654.08   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
 President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>                                |                        | <b>32</b>              |                        |                      |
|---|------------------------|------------------------|------------------------|----------------------|
| <b>Progress Draw # 5</b>                              |                        |                        |                        |                      |
| <b>Item</b>   | <b>Contract</b>        | <b>Total</b>           | <b>Previous</b>        | <b>Current</b>       |
| Mock up   | \$ 35,000.00           | \$ 35,000.00           | \$ 35,000.00           | \$ -                 |
| Mobilization  | \$ 45,000.00           | \$ 45,000.00           | \$ 45,000.00           | \$ -                 |
| General requirements                                  | \$ 180,000.00          | \$ 93,420.00           | \$ 79,580.00           | \$ 13,840.00         |
| Demobilization  | \$ 25,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Environmental testing                                 | \$ 4,000.00            | \$ 4,000.00            | \$ 4,000.00            | \$ -                 |
| Access  | \$ 336,000.00          | \$ 186,435.00          | \$ 158,815.00          | \$ 27,620.00         |
| Balcony guard walls                                   | \$ 685,000.00          | \$ 503,750.60          | \$ 406,028.70          | \$ 97,721.90         |
| General disposal                                      | \$ 40,000.00           | \$ 26,000.00           | \$ 20,000.00           | \$ 6,000.00          |
| Guardrail engineering                                 | \$ 10,000.00           | \$ 5,000.00            | \$ -                   | \$ 5,000.00          |
| Guardrails  | \$ 781,250.00          | \$ -                   | \$ -                   | \$ -                 |
| Maintenance manual                                    | \$ 500.00              | \$ -                   | \$ -                   | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft        | \$ 50,000.00           | \$ 13,774.50           | \$ 13,774.50           | \$ -                 |
| Full depth delamination repairs - \$500/sq.ft.        | \$ 200,000.00          | \$ 200,000.00          | \$ 200,000.00          | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                    | \$ 63,000.00           | \$ 1,026.27            | \$ 1,026.27            | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.         | \$ 262,500.00          | \$ 245,082.37          | \$ 245,082.37          | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft/. | \$ 15,000.00           | \$ 67.50               | \$ 67.50               | \$ -                 |
| Metal angle and anchor removal - \$250 each           | \$ 125,000.00          | \$ 125,000.00          | \$ 116,000.00          | \$ 9,000.00          |
| Metal angle coating - \$200 each                      | \$ 75,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                  | \$ 900.00              | \$ -                   | \$ -                   | \$ -                 |
| Deckote installation on balconies                     | \$ 80,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Painting balcony soffits                              | \$ 46,875.00           | \$ 23,437.50           | \$ -                   | \$ 23,437.50         |
| CO 1  |                        |                        |                        |                      |
| Full depth delamination repairs - \$500/sq.ft.        | \$ 265,000.00          | \$ 8,633.50            | \$ 8,633.50            | \$ -                 |
| Metal angle and anchor removal - \$250 each           | \$ 95,500.00           | \$ 39,500.00           | \$ -                   | \$ 39,500.00         |
| Metal angle coating - \$200 each                      | -\$ 75,000.00          | \$ -                   | \$ -                   | \$ -                 |
| CO 2  |                        |                        |                        |                      |
| Top surface delamination repairs - \$250/sq.ft        | -\$ 17,500.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                    | -\$ 59,850.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.         | \$ 285,000.00          | \$ -                   | \$ -                   | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft/. | -\$ 12,000.00          | \$ -                   | \$ -                   | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                  | -\$ 810.00             | \$ -                   | \$ -                   | \$ -                 |
| CO 3  |                        |                        |                        |                      |
| Option 1 - Painting all the walls within the balconie | \$ 54,500.00           | \$ 27,250.00           | \$ -                   | \$ 27,250.00         |
|   |                        |                        |                        |                      |
|   | <b>\$ 3,594,865.00</b> | <b>\$ 1,582,377.24</b> | <b>\$ 1,333,007.84</b> | <b>\$ 249,369.40</b> |
| General requirements \$3460/week                      |                        |                        |                        |                      |
| Access \$6905/week                                    |                        |                        |                        |                      |
| Balcony guardrails -744 panels @ \$920.70 each        |                        |                        |                        |                      |
| <i>3/4 done</i>                                       |                        |                        |                        |                      |
|   |                        |                        |                        |                      |
| Metal angle and anchor removal                        |                        |                        |                        |                      |
| <i>658 done</i>                                       |                        |                        |                        |                      |

# Statutory Declaration of Progress Payment Distribution by Contractor

Standard Construction Document

**CCDC 9A – 2018**

To be made by the Contractor as a condition for either

- second and subsequent progress payments; or
- release of holdback.

Application for payment number 4  
 dated 28 February 2025 is the last  
 application for payment for which the Contractor has  
 received payment.

## Information Appearing in the Contract Documents

Name of Project

Bellevue Tower West - Balcony Restorations

Date of Contract: September 20, 2024

Name of Owner

Lionsgate Communities

Name of Contractor

Alumni Restorations Ltd.

## Declaration

I solemnly declare that, as of the date of this declaration, I am an authorized signing officer, partner or sole proprietor of the Contractor, and as such have authority to bind the Contractor, and have personal knowledge of the fact that all accounts for labour, subcontracts, products, services, and construction machinery and equipment which have been incurred directly by the Contractor in the performance of the work as required by the Contract, and for which the Owner might in any way be held responsible, have been paid in full as required by the Contract up to and including the latest progress payment received, as identified above, except for:

- 1) holdback monies properly retained,
- 2) payments deferred by agreement, or
- 3) payment withheld by reason of legitimate dispute which has been identified to the party or parties from whom payment has been withheld.

I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Declared before me in West Vancouver this 31st day of March in the year 2025  
City/Town and Province

Beau Henderson

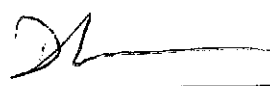
Name

Vice President

Title



Signature



(A Commissioner for Oaths, Notary Public, Justice of the Peace, etc.)

**The making of a false or fraudulent declaration is a contravention of the Criminal Code of Canada, and could carry, upon conviction, penalties including fines or imprisonment.**

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CCDC

9

2018

# CCDC

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**Danielle Catherine Hulscher**

A Commissioner for Taking  
 Affidavits for British Columbia  
 Expires: November 30, 2026

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Canadian Construction Documents Committee



May 7, 2025

Dan Sander  
 Lionsgate Communities  
 1155 West Pender Street, Suite 620  
 Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
 195 21st Street West Vancouver BC – Certificate for Payment #7**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 6 in the amount of **\$405,452.60** (including GST) and Progress Summary No. 6, dated May 7, 2025.
- Alumni Restorations Ltd.'s invoice #2440 dated April 30, 2025, for work completed to April 30, 2025. Invoice and supporting documents received by RJC on April 30, 2025.
- Statutory Declaration dated April 30, 2025, received by RJC on May 2, 2025.
- WorkSafe BC Letter of Good Standing dated May 7, 2025.

Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.

*Reviewed by:*

A handwritten signature in black ink, appearing to read 'Reza'.

Reza Fallahtafti  
 Designer

A handwritten signature in black ink, appearing to read 'Ilona'.

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
 Project Engineer

RFT/jpy



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**

is entitled (subject to possible claims of any others, such as lien holders) to a payment of:

**\$405,452.60** (includes GST/HST where applicable)

( Four Hundred Five Thousand Four Hundred Fifty Two 60 /100 Dollars )

**Contractor Account**

|  |    |                   |  |
|--|----|-------------------|--|
| 1. Original Contract Price.....                                    | \$ | 3,060,025.50      |  |
| 2. Authorized Additions.....                                       | \$ | 534,840.00        |  |
| 3. Authorized Deductions.....                                      | \$ | 0.00              |  |
| 4. Contract Price to Date (1 + 2 - 3).....                         | \$ | 3,594,865.50      |  |
| 5. Estimated Value of Work Done to Date.....                       | \$ | 2,011,427.61      |  |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ | 201,142.76        |  |
| 7. Statutory Lien Holdback Released.....                           | \$ | 0.00              |  |
| 8. Current Statutory Lien Holdback (6 - 7).....                    | \$ | 201,142.76        |  |
| 9. Total Certified to Date (5 - 8).....                            | \$ | 1,810,284.85      |  |
| 10. Amount Previously Certified (9 from previous certificate)..... | \$ | 1,424,139.52      |  |
| 11. Amount of this Certificate (9 - 10).....                       | \$ | <b>386,145.33</b> |  |
| 12. GST on Amount Certified (5% of 11).....                        | \$ | 19,307.27         |  |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... | \$ | <b>405,452.60</b> |  |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ | 1,784,580.65      |  |

**Statutory Lien Holdback Account**

|  |    |                   |
|--|----|-------------------|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ | 201,142.76        |
| 16. Previous Statutory Lien Holdback (15 from previous certificate.).....    | \$ | 158,237.72        |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ | 42,905.04         |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ | 2,145.25          |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... | \$ | <b>45,050.29</b>  |
| <b>or</b>  |    |                   |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... | \$ | 0.00              |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       | \$ | <b>211,199.90</b> |

Per: \_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**

May 7, 2025

**For the Period**

From: April 1, 2025

To: April 30, 2025

**Contractor**

Alumni Restorations Ltd.

4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**

Lionsgate Communities

1155 West Pender Street,  
Suite 620  
Vancouver BC V6E 2P4

**Distribution**

**CONTRACTOR:**

Beau Henderson

**OWNER:**

Dan Sander

**CONSULTANT(S) - RJC:**

Ilona Cervantes  
Reza Fallahtafti

**Project Name**

Bellevue Tower West -  
Balcony Restoration

**Project No.**

VAN.103256.0016

**PROGRESS PAYMENT No. 6**

| SUMMARY OF COSTS         |                          |                        |                        |                         |                        |                        |                        |                      |                        |
|--------------------------|--------------------------|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.                     | Item Description         | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
|                          | Lump Sum Contract Amount | 3,060,025.00           | 1,506,993.74           | 430,121.13              | 1,937,114.87           | 63.30%                 | 1,122,910.13           | 193,711.49           | 1,743,403.38           |
|                          | Change Order             | 534,840.00             | 75,383.50              | (1,070.76)              | 74,312.74              | 13.89%                 | 460,527.26             | 7,431.27             | 66,881.47              |
|                          | <b>TOTAL</b>             | <b>\$ 3,594,865.00</b> | <b>\$ 1,582,377.24</b> | <b>\$ 429,050.37</b>    | <b>\$ 2,011,427.61</b> | <b>55.95%</b>          | <b>\$ 1,583,437.39</b> | <b>\$ 201,142.76</b> | <b>\$ 1,810,284.85</b> |
| <b>Total this claim:</b> |                          |                        | <b>\$ 429,050.37</b>   | <b>\$ 42,905.04</b>     | <b>\$ 386,145.33</b>   |                        | <b>\$ 19,307.27</b>    |                      | <b>\$ 405,452.60</b>   |

| CONTRACT |   |                        |                        |                         |                        |                        |                        |                      |                        |
|----------|---|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.     | Item Description                              | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
| 1.1      | Mock Up                                       | 35,000.00              | 35,000.00              | 0.00                    | 35,000.00              | 100.00%                | 0.00                   | 3,500.00             | 31,500.00              |
| 1.2      | Mobilization                                  | 45,000.00              | 45,000.00              | 0.00                    | 45,000.00              | 100.00%                | 0.00                   | 4,500.00             | 40,500.00              |
| 1.3      | General Requirements                          | 180,000.00             | 93,420.00              | 13,840.00               | 107,260.00             | 59.59%                 | 72,740.00              | 10,726.00            | 96,534.00              |
| 1.4      | Demobilization                                | 25,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 25,000.00              | 0.00                 | 0.00                   |
| 1.5      | Environmental Testing                         | 4,000.00               | 4,000.00               | 0.00                    | 4,000.00               | 100.00%                | 0.00                   | 400.00               | 3,600.00               |
| 1.6      | Access  | 336,000.00             | 186,435.00             | 27,620.00               | 214,055.00             | 63.71%                 | 121,945.00             | 21,405.50            | 192,649.50             |
| 1.7      | Balcony Guard Walls - Demolition and Disposal | 685,000.00             | 503,750.60             | 83,656.00               | 587,406.60             | 85.75%                 | 97,593.40              | 58,740.66            | 528,665.94             |
| 1.8      | General Disposal                              | 40,000.00              | 26,000.00              | 6,000.00                | 32,000.00              | 80.00%                 | 8,000.00               | 3,200.00             | 28,800.00              |
| 1.9      | Guardrail Engineering                         | 10,000.00              | 5,000.00               | 0.00                    | 5,000.00               | 50.00%                 | 5,000.00               | 500.00               | 4,500.00               |
| 1.10     | Guardrails                                    | 781,250.00             | 0.00                   | 166,015.00              | 166,015.00             | 21.25%                 | 615,235.00             | 16,601.50            | 149,413.50             |
| 1.11     | Maintenance Manual                            | 500.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 500.00                 | 0.00                 | 0.00                   |
| 1.12     | Top Surface Delamination Repairs              | 50,000.00              | 13,774.50              | 535.00                  | 14,309.50              | 28.62%                 | 35,690.50              | 1,430.95             | 12,878.55              |
| 1.13     | Full Depth Dalmation Repairs                  | 200,000.00             | 200,000.00             | 0.00                    | 200,000.00             | 100.00%                | 0.00                   | 20,000.00            | 180,000.00             |
| 1.14     | Slab Soffit Repairs                           | 63,000.00              | 1,026.27               | 0.00                    | 1,026.27               | 1.63%                  | 61,973.73              | 102.63               | 923.64                 |
| 1.15     | Slab Edge Delamination Repairs                | 262,500.00             | 245,082.37             | 17,417.63               | 262,500.00             | 100.00%                | 0.00                   | 26,250.00            | 236,250.00             |
| 1.16     | Vertical Surface Delamination Repairs         | 15,000.00              | 67.50                  | 37.50                   | 105.00                 | 0.70%                  | 14,895.00              | 10.50                | 94.50                  |
| 1.17     | Metal Angle and Anchor Removal                | 125,000.00             | 125,000.00             | 0.00                    | 125,000.00             | 100.00%                | 0.00                   | 12,500.00            | 112,500.00             |
| 1.18     | Metal Angle Coating                           | 75,000.00              | 0.00                   | 75,000.00               | 75,000.00              | 100.00%                | 0.00                   | 7,500.00             | 67,500.00              |
| 1.19     | Rout and Caulk Cracks                         | 900.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 900.00                 | 0.00                 | 0.00                   |
| 1.20     | Deckote Installation on Balconies             | 80,000.00              | 0.00                   | 40,000.00               | 40,000.00              | 50.00%                 | 40,000.00              | 4,000.00             | 36,000.00              |
| 1.21     | Painting Balcony Soffits                      | 46,875.00              | 23,437.50              | 0.00                    | 23,437.50              | 50.00%                 | 23,437.50              | 2,343.75             | 21,093.75              |
|          | <b>TOTAL</b>                                  | <b>\$ 3,060,025.00</b> | <b>\$ 1,506,993.74</b> | <b>\$ 430,121.13</b>    | <b>\$ 1,937,114.87</b> | <b>63.30%</b>          | <b>\$ 1,122,910.13</b> | <b>\$ 193,711.49</b> | <b>\$ 1,743,403.38</b> |

| CHANGE ORDERS |  |                      |                        |                         |                     |                        |                        |                     |                     |
|---------------|--|----------------------|------------------------|-------------------------|---------------------|------------------------|------------------------|---------------------|---------------------|
| Ref.          | Item Description                                       | Current Budget       | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total   |
| CO - 1        | Full depth delamination repair                         | 265,000.00           | 8,633.50               | 55,697.50               | 64,331.00           | 24.28%                 | 200,669.00             | 6,433.10            | 57,897.90           |
| CO - 1        | Metal angle and anchor removal                         | 95,500.00            | 39,500.00              | 0.00                    | 39,500.00           | 41.36%                 | 56,000.00              | 3,950.00            | 35,550.00           |
| CO - 1        | Metal Angle Coating                                    | -75,000.00           | 0.00                   | -75,000.00              | -75,000.00          | 100.00%                | 0.00                   | -7,500.00           | -67,500.00          |
| CO - 2        | Top surface delamination repair                        | -17,500.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -17,500.00             | 0.00                | 0.00                |
| CO - 2        | Soffit delamination repair                             | -59,850.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -59,850.00             | 0.00                | 0.00                |
| CO - 2        | Slab edge concrete delamination repair                 | 285,000.00           | 0.00                   | 18,231.74               | 18,231.74           | 6.40%                  | 266,768.26             | 1,823.17            | 16,408.57           |
| CO - 2        | Vertical surface delamination repair                   | -12,000.00           | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -12,000.00             | 0.00                | 0.00                |
| CO - 2        | Rout and caulk cracks                                  | -810.00              | 0.00                   | 0.00                    | 0.00                | 0.00%                  | -810.00                | 0.00                | 0.00                |
| CO - 3        | Option 1 - Painting all the walls within the balconies | 54,500.00            | 27,250.00              | 0.00                    | 27,250.00           | 50.00%                 | 27,250.00              | 2,725.00            | 24,525.00           |
|               | <b>TOTAL</b>   | <b>\$ 534,840.00</b> | <b>\$ 75,383.50</b>    | <b>\$ (1,070.76)</b>    | <b>\$ 74,312.74</b> | <b>13.89%</b>          | <b>\$ 460,527.26</b>   | <b>\$ 7,431.27</b>  | <b>\$ 66,881.47</b> |

**INVOICE**

April 30, 2025

To: Lionsgate Communities  
 C/O Ilona Cervantes  
 RJC  
 1285 West Broadway, Suite 300  
 Vancouver BC V6H 3X8



GST #: 87177-9427RT  
 Invoice #: 2440

**Re: Bellevue Tower West – Balcony Restoration  
 Progress Draw # 6**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$429 050.37   |
| Less 10% holdback: | (\$ 42 905.04) |
| Subtotal:          | \$386 145.33   |
| GST:               | \$ 19 307.27   |
| Total:             | \$405 452.60   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
 President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>  |                        |                        |                        |                      |
|---|------------------------|------------------------|------------------------|----------------------|
| <b>Progress Draw # 6</b>  |                        |                        |                        |                      |
|   | <b>38</b>              |                        |                        |                      |
| <b>Item</b>   | <b>Contract</b>        | <b>Total</b>           | <b>Previous</b>        | <b>Current</b>       |
| Mock up   | \$ 35,000.00           | \$ 35,000.00           | \$ 35,000.00           | \$ -                 |
| Mobilization  | \$ 45,000.00           | \$ 45,000.00           | \$ 45,000.00           | \$ -                 |
| General requirements  | \$ 180,000.00          | \$ 107,260.00          | \$ 93,420.00           | \$ 13,840.00         |
| Demobilization  | \$ 25,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Environmental testing   | \$ 4,000.00            | \$ 4,000.00            | \$ 4,000.00            | \$ -                 |
| Access  | \$ 336,000.00          | \$ 214,055.00          | \$ 186,435.00          | \$ 27,620.00         |
| Balcony guard walls   | \$ 685,000.00          | \$ 587,406.60          | \$ 503,750.60          | \$ 83,656.00         |
| General disposal  | \$ 40,000.00           | \$ 32,000.00           | \$ 26,000.00           | \$ 6,000.00          |
| Guardrail engineering   | \$ 10,000.00           | \$ 5,000.00            | \$ 5,000.00            | \$ -                 |
| Guardrails  | \$ 781,250.00          | \$ 166,015.00          | \$ -                   | \$ 166,015.00        |
| Maintenance manual  | \$ 500.00              | \$ -                   | \$ -                   | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft  | \$ 50,000.00           | \$ 14,309.50           | \$ 13,774.50           | \$ 535.00            |
| Full depth delamination repairs - \$500/sq.ft.  | \$ 200,000.00          | \$ 200,000.00          | \$ 200,000.00          | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.  | \$ 63,000.00           | \$ 1,026.27            | \$ 1,026.27            | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.   | \$ 262,500.00          | \$ 262,500.00          | \$ 245,082.37          | \$ 17,417.63         |
| Vertical surface delamination repairs - \$300/sq/ft/.   | \$ 15,000.00           | \$ 105.00              | \$ 67.50               | \$ 37.50             |
| Metal angle and anchor removal - \$250 each   | \$ 125,000.00          | \$ 125,000.00          | \$ 125,000.00          | \$ -                 |
| Metal angle coating - \$200 each  | \$ 75,000.00           | \$ 75,000.00           | \$ -                   | \$ 75,000.00         |
| Rout and caulk cracks - \$18/lin.ft.  | \$ 900.00              | \$ -                   | \$ -                   | \$ -                 |
| Deckote installation on balconies   | \$ 80,000.00           | \$ 40,000.00           | \$ -                   | \$ 40,000.00         |
| Painting balcony soffits  | \$ 46,875.00           | \$ 23,437.50           | \$ 23,437.50           | \$ -                 |
| CO 1  |                        |                        |                        |                      |
| Full depth delamination repairs - \$500/sq.ft.  | \$ 265,000.00          | \$ 64,331.00           | \$ 8,633.50            | \$ 55,697.50         |
| Metal angle and anchor removal - \$250 each   | \$ 95,500.00           | \$ 39,500.00           | \$ 39,500.00           | \$ -                 |
| Metal angle coating - \$200 each  | -\$ 75,000.00          | -\$ 75,000.00          | \$ -                   | -\$ 75,000.00        |
| CO 2  |                        |                        |                        |                      |
| Top surface delamination repairs - \$250/sq.ft  | -\$ 17,500.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.  | -\$ 59,850.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.   | \$ 285,000.00          | \$ 18,231.74           | \$ -                   | \$ 18,231.74         |
| Vertical surface delamination repairs - \$300/sq/ft/.   | -\$ 12,000.00          | \$ -                   | \$ -                   | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.  | -\$ 810.00             | \$ -                   | \$ -                   | \$ -                 |
| CO 3  |                        |                        |                        |                      |
| Option 1 - Painting all the walls within the balconies  | \$ 54,500.00           | \$ 27,250.00           | \$ 27,250.00           | \$ -                 |
|   |                        |                        |                        |                      |
|   | <b>\$ 3,594,865.00</b> | <b>\$ 2,011,427.61</b> | <b>\$ 1,582,377.24</b> | <b>\$ 429,050.37</b> |
| General requirements \$3460/week  |                        |                        |                        |                      |
| Access \$6905/week  |                        |                        |                        |                      |
| Balcony guardrails -744 panels @ \$920.70 each  |                        |                        |                        |                      |
| <i>638 done</i>   |                        |                        |                        |                      |
|   |                        |                        |                        |                      |
| Metal angle and anchor removal  |                        |                        |                        |                      |
| <i>658 done</i>   |                        |                        |                        |                      |
|   |                        |                        |                        |                      |
| Guardrails - 8 drops and we have completed 1 drop and materials/glass are there for a second drop |                        |                        |                        |                      |

# Statutory Declaration of Progress Payment Distribution by Contractor

Standard Construction Document

**CCDC 9A – 2018**

To be made by the Contractor as a condition for either

- second and subsequent progress payments; or
- release of holdback.

Application for payment number 5  
 dated March 31, 2025 is the last  
 application for payment for which the Contractor has  
 received payment.

## Information Appearing in the Contract Documents

Name of Project  
**Bellevue Tower West - Balcony Restoration**

Date of Contract: September 20, 2024

Name of Owner  
**Lionsgate Communities**

Name of Contractor  
**Alumni Restorations Ltd.**

## Declaration

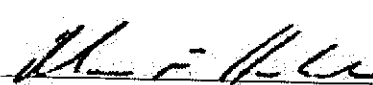
I solemnly declare that, as of the date of this declaration, I am an authorized signing officer, partner or sole proprietor of the Contractor, and as such have authority to bind the Contractor, and have personal knowledge of the fact that all accounts for labour, subcontracts, products, services, and construction machinery and equipment which have been incurred directly by the Contractor in the performance of the work as required by the Contract, and for which the Owner might in any way be held responsible, have been paid in full as required by the Contract up to and including the latest progress payment received, as identified above, except for:


- 1) holdback monies properly retained,
- 2) payments deferred by agreement, or
- 3) payment withheld by reason of legitimate dispute which has been identified to the party or parties from whom payment has been withheld.

I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Declared before me in West Vancouver, BC this 30 day of April in the year 2025  
City/Town and Province

**Maurice Hulscher**  
Name  
**President**  
Title

  
Signature

  
(A Commissioner for Oaths, Notary Public, Justice of the Peace, etc.)

**The making of a false or fraudulent declaration is a contravention of the Criminal Code of Canada, and could carry, upon conviction, penalties including fines or imprisonment.**

This agreement is protected by copyright and is intended by the parties to be an unaltered version of CCDC 9 – 2018 except to the extent that any alterations, additions or modifications are set forth in supplementary conditions.



Use of this form without a CCDC 9 copyright seal constitutes an infringement of copyright. Use of this form with a CCDC 9 copyright seal demonstrates that it is intended by the parties to be an accurate and unamended version of CCDC 9A – 2018.

**Danielle Catherine Hulscher** **CCDC** Copyright 2018  
 A Commissioner for Taking Affidavits for British Columbia  
 Expires: November 30, 2026  
 Canadian Construction Documents Committee



WORKING TO MAKE A DIFFERENCE

**40**  
**Assessment Department**

**Mailing Address**

PO Box 5350  
Station Terminal  
Vancouver BC V6B 5L5

**Location**

6951 Westminster Highway  
Richmond BC  
V7C 1C6  
www.worksafebc.com

**Clearance Section**

Telephone 604 244 6380  
Toll Free within Canada  
1 888 922 2768  
Fax 604 244 6390

Lionsgate Communities  
c/o Read Jones Christoffersen Ltd.  
1285 West Broadway, Suite 300  
VANCOUVER, BC V6H 3X8

May 07, 2025

Person/Business : ALUMNI RESTORATIONS LTD  
Account number : 624848

This letter provides clearance information for the purposes of Section 258 of the Workers Compensation Act.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to July 01, 2025.

This firm has had continuous coverage with us since March 29, 1999.

Employer Service Centre  
Assessment Department

Clearance Reference # : C135722738  
CLRAAA

For more information about Section 258 and clearance letters visit [WorkSafeBC.com](http://WorkSafeBC.com)

Please refer to your account number in your correspondence or when contacting the Assessment Department.  
To alter this document constitutes fraud.



June 10, 2025

Dan Sander  
 Lionsgate Communities  
 1155 West Pender Street, Suite 620  
 Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
 195 21st Street West Vancouver BC – Certificate for Payment #7**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 7 in the amount of **\$329,560.05** (including GST) and Progress Summary No. 7, dated June 10, 2025.
- Alumni Restorations Ltd.'s invoice #2452 dated May 30, 2025, for work completed to May 30, 2025. Invoice and supporting documents received by RJC on May 31, 2025.
- Statutory Declaration dated May 30, 2025, received by RJC on June 4, 2025.
- WorkSafe BC Letter of Good Standing dated June 10, 2025.

Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.

 A handwritten signature in black ink, appearing to read 'Reza'.
 

2025-06-10

Reza Fallahtafti  
 Designer

*Reviewed by:*

A handwritten signature in black ink, appearing to read 'Ilona'.

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
 Project Engineer

RFT/jpy



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**  
is entitled (subject to possible claims of any others, such as lien holders) to a payment of:  
**\$329,560.05** (includes GST/HST where applicable)  
( Three Hundred Twenty Nine Thousand Five Hundred Sixty 05 /100 Dollars )

**Contractor Account**

|  |    |                   |  |
|--|----|-------------------|--|
| 1. Original Contract Price.....                                    | \$ | 3,060,025.50      |  |
| 2. Authorized Additions.....                                       | \$ | 534,840.00        |  |
| 3. Authorized Deductions.....                                      | \$ | 0.00              |  |
| 4. Contract Price to Date (1 + 2 - 3).....                         | \$ | 3,594,865.50      |  |
| 5. Estimated Value of Work Done to Date.....                       | \$ | 2,360,168.40      |  |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ | 236,016.84        |  |
| 7. Statutory Lien Holdback Released.....                           | \$ | 0.00              |  |
| 8. Current Statutory Lien Holdback (6 - 7).....                    | \$ | 236,016.84        |  |
| 9. Total Certified to Date (5 - 8).....                            | \$ | 2,124,151.56      |  |
| 10. Amount Previously Certified (9 from previous certificate)..... | \$ | 1,810,284.85      |  |
| 11. Amount of this Certificate (9 - 10).....                       | \$ | <b>313,866.71</b> |  |
| 12. GST on Amount Certified (5% of 11).....                        | \$ | 15,693.34         |  |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... | \$ | <b>329,560.05</b> |  |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ | 1,470,713.94      |  |

**Statutory Lien Holdback Account**

|  |    |                   |  |
|--|----|-------------------|--|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ | 236,016.84        |  |
| 16. Previous Statutory Lien Holdback (15 from previous certificate).....     | \$ | 201,142.76        |  |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ | 34,874.08         |  |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ | 1,743.70          |  |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... | \$ | <b>36,617.78</b>  |  |
| <b>or</b>  |    |                   |  |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... | \$ | 0.00              |  |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       | \$ | <b>247,817.68</b> |  |

Per:   
\_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**  
June 10, 2025

**For the Period**  
From: May 1, 2025  
To: May 31, 2025

**Contractor**  
Alumni Restorations Ltd.  
  
4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**  
Lionsgate Communities  
  
1155 West Pender Street, Suite  
620  
Vancouver BC V6E 2P4

**Distribution**  
  
**CONTRACTOR:**  
Beau Henderson

**OWNER:**  
Dan Sander

**CONSULTANT(S) - RJC:**  
Ilona Cervantes  
Reza Fallahtafi

**Project Name**  
Bellevue Tower West - Balcony  
Restoration

**Project No.**  
VAN.103256.0016

**PROGRESS PAYMENT No. 7**

| SUMMARY OF COSTS |                          |                        |                        |                         |                        |                        |                        |                      |                        |
|------------------|--------------------------|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.             | Item Description         | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
|                  | Lump Sum Contract Amount | 3,060,025.00           | 1,937,114.87           | 145,274.78              | 2,082,389.65           | 68.05%                 | 977,635.35             | 208,238.97           | 1,874,150.69           |
|                  | Change Order             | 534,840.00             | 74,312.74              | 203,466.01              | 277,778.75             | 51.94%                 | 257,061.25             | 27,777.88            | 250,000.88             |
|                  | <b>TOTAL</b>             | <b>\$ 3,594,865.00</b> | <b>\$ 2,011,427.61</b> | <b>\$ 348,740.79</b>    | <b>\$ 2,360,168.40</b> | <b>65.65%</b>          | <b>\$ 1,234,696.60</b> | <b>\$ 236,016.84</b> | <b>\$ 2,124,151.56</b> |
|                  |                          | Complete this Draw     |                        | Lien Holdback           | Subtotal               |                        | Add GST                | <b>TOTAL</b>         |                        |
|                  | <b>Total this claim:</b> |                        | <b>\$ 348,740.79</b>   | <b>\$ 34,874.08</b>     | <b>\$ 313,866.71</b>   |                        | <b>\$ 15,693.34</b>    |                      | <b>\$ 329,560.05</b>   |

| CONTRACT |   |                        |                        |                         |                        |                        |                        |                      |                        |
|----------|---|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.     | Item Description                              | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
| 1.1      | Mock Up                                       | 35,000.00              | 35,000.00              | 0.00                    | 35,000.00              | 100.00%                | 0.00                   | 3,500.00             | 31,500.00              |
| 1.2      | Mobilization                                  | 45,000.00              | 45,000.00              | 0.00                    | 45,000.00              | 100.00%                | 0.00                   | 4,500.00             | 40,500.00              |
| 1.3      | General Requirements                          | 180,000.00             | 107,260.00             | 13,840.00               | 121,100.00             | 67.28%                 | 58,900.00              | 12,110.00            | 108,990.00             |
| 1.4      | Demobilization                                | 25,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 25,000.00              | 0.00                 | 0.00                   |
| 1.5      | Environmental Testing                         | 4,000.00               | 4,000.00               | 0.00                    | 4,000.00               | 100.00%                | 0.00                   | 400.00               | 3,600.00               |
| 1.6      | Access  | 336,000.00             | 214,055.00             | 27,620.00               | 241,675.00             | 71.93%                 | 94,325.00              | 24,167.50            | 217,507.50             |
| 1.7      | Balcony Guard Walls - Demolition and Disposal | 685,000.00             | 587,406.60             | 97,593.40               | 685,000.00             | 100.00%                | 0.00                   | 68,500.00            | 616,500.00             |
| 1.8      | General Disposal                              | 40,000.00              | 32,000.00              | 4,000.00                | 36,000.00              | 90.00%                 | 4,000.00               | 3,600.00             | 32,400.00              |
| 1.9      | Guardrail Engineering                         | 10,000.00              | 5,000.00               | 0.00                    | 5,000.00               | 50.00%                 | 5,000.00               | 500.00               | 4,500.00               |
| 1.10     | Guardrails                                    | 781,250.00             | 166,015.00             | 0.00                    | 166,015.00             | 21.25%                 | 615,235.00             | 16,601.50            | 149,413.50             |
| 1.11     | Maintenance Manual                            | 500.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 500.00                 | 0.00                 | 0.00                   |
| 1.12     | Top Surface Delamination Repairs              | 50,000.00              | 14,309.50              | 2,065.50                | 16,375.00              | 32.75%                 | 33,625.00              | 1,637.50             | 14,737.50              |
| 1.13     | Full Depth Dalmation Repairs                  | 200,000.00             | 200,000.00             | 0.00                    | 200,000.00             | 100.00%                | 0.00                   | 20,000.00            | 180,000.00             |
| 1.14     | Slab Soffit Repairs                           | 63,000.00              | 1,026.27               | 110.88                  | 1,137.15               | 1.81%                  | 61,862.85              | 113.72               | 1,023.44               |
| 1.15     | Slab Edge Delamination Repairs                | 262,500.00             | 262,500.00             | 0.00                    | 262,500.00             | 100.00%                | 0.00                   | 26,250.00            | 236,250.00             |
| 1.16     | Vertical Surface Delamination Repairs         | 15,000.00              | 105.00                 | 45.00                   | 150.00                 | 1.00%                  | 14,850.00              | 15.00                | 135.00                 |
| 1.17     | Metal Angle and Anchor Removal                | 125,000.00             | 125,000.00             | 0.00                    | 125,000.00             | 100.00%                | 0.00                   | 12,500.00            | 112,500.00             |
| 1.18     | Metal Angle Coating                           | 75,000.00              | 75,000.00              | 0.00                    | 75,000.00              | 100.00%                | 0.00                   | 7,500.00             | 67,500.00              |
| 1.19     | Rout and Caulk Cracks                         | 900.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 900.00                 | 0.00                 | 0.00                   |
| 1.20     | Deckote Installation on Balconies             | 80,000.00              | 40,000.00              | 0.00                    | 40,000.00              | 50.00%                 | 40,000.00              | 4,000.00             | 36,000.00              |
| 1.21     | Painting Balcony Soffits                      | 46,875.00              | 23,437.50              | 0.00                    | 23,437.50              | 50.00%                 | 23,437.50              | 2,343.75             | 21,093.75              |
|          | <b>TOTAL</b>                                  | <b>\$ 3,060,025.00</b> | <b>\$ 1,937,114.87</b> | <b>\$ 145,274.78</b>    | <b>\$ 2,082,389.65</b> | <b>68.05%</b>          | <b>\$ 977,635.35</b>   | <b>\$ 208,238.97</b> | <b>\$ 1,874,150.69</b> |

| CHANGE ORDERS |  |                      |                        |                         |                      |                        |                        |                     |                      |
|---------------|--|----------------------|------------------------|-------------------------|----------------------|------------------------|------------------------|---------------------|----------------------|
| Ref.          | Item Description                                       | Current Budget       | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total  | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total    |
| CO - 1        | Full depth delamination repair                         | 265,000.00           | 64,331.00              | 84,589.00               | 148,920.00           | 56.20%                 | 116,080.00             | 14,892.00           | 134,028.00           |
| CO - 2        | Metal angle and anchor removal                         | 95,500.00            | 39,500.00              | 56,000.00               | 95,500.00            | 100.00%                | 0.00                   | 9,550.00            | 85,950.00            |
| CO - 3        | Metal Angle Coating                                    | -75,000.00           | -75,000.00             | 0.00                    | -75,000.00           | 100.00%                | 0.00                   | -7,500.00           | -67,500.00           |
| CO - 4        | Top surface delamination repair                        | -17,500.00           | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -17,500.00             | 0.00                | 0.00                 |
| CO - 5        | Soffit delamination repair                             | -59,850.00           | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -59,850.00             | 0.00                | 0.00                 |
| CO - 6        | Slab edge concrete delamination repair                 | 285,000.00           | 18,231.74              | 62,877.01               | 81,087.75            | 28.46%                 | 203,891.25             | 8,110.88            | 72,997.88            |
| CO - 7        | Vertical surface delamination repair                   | -12,000.00           | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -12,000.00             | 0.00                | 0.00                 |
| CO - 8        | Rout and caulk cracks                                  | -810.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -810.00                | 0.00                | 0.00                 |
| CO - 9        | Option 1 - Painting all the walls within the balconies | 54,500.00            | 27,250.00              | 0.00                    | 27,250.00            | 50.00%                 | 27,250.00              | 2,725.00            | 24,525.00            |
|               | <b>TOTAL</b>   | <b>\$ 534,840.00</b> | <b>\$ 74,312.74</b>    | <b>\$ 203,466.01</b>    | <b>\$ 277,778.75</b> | <b>51.94%</b>          | <b>\$ 257,061.25</b>   | <b>\$ 27,777.88</b> | <b>\$ 250,000.88</b> |

**INVOICE**

May 30, 2025

To: Lionsgate Communities  
 C/O Ilona Cervantes  
 RJC  
 1285 West Broadway, Suite 300  
 Vancouver BC V6H 3X8



GST #:87177-9427RT  
 Invoice #:2452

**Re: Bellevue Tower West – Balcony Restoration  
 Progress Draw # 7**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$348 740.79   |
| Less 10% holdback: | (\$ 34 874.08) |
| Subtotal:          | \$313 866.71   |
| GST:               | \$ 15 693.34   |
| Total:             | \$329 560.05   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
 President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>  |                        |                        |                        |                      |
|---|------------------------|------------------------|------------------------|----------------------|
| <b>Progress Draw # 7</b>  |                        |                        |                        |                      |
|   | <b>45</b>              |                        |                        |                      |
| <b>Item</b>   | <b>Contract</b>        | <b>Total</b>           | <b>Previous</b>        | <b>Current</b>       |
| Mock up   | \$ 35,000.00           | \$ 35,000.00           | \$ 35,000.00           | \$ -                 |
| Mobilization  | \$ 45,000.00           | \$ 45,000.00           | \$ 45,000.00           | \$ -                 |
| General requirements  | \$ 180,000.00          | \$ 121,100.00          | \$ 107,260.00          | \$ 13,840.00         |
| Demobilization  | \$ 25,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Environmental testing   | \$ 4,000.00            | \$ 4,000.00            | \$ 4,000.00            | \$ -                 |
| Access  | \$ 336,000.00          | \$ 241,675.00          | \$ 214,055.00          | \$ 27,620.00         |
| Balcony guard walls   | \$ 685,000.00          | \$ 685,000.00          | \$ 587,406.60          | \$ 97,593.40         |
| General disposal  | \$ 40,000.00           | \$ 36,000.00           | \$ 32,000.00           | \$ 4,000.00          |
| Guardrail engineering   | \$ 10,000.00           | \$ 5,000.00            | \$ 5,000.00            | \$ -                 |
| Guardrails  | \$ 781,250.00          | \$ 166,015.00          | \$ 166,015.00          | \$ -                 |
| Maintenance manual  | \$ 500.00              | \$ -                   | \$ -                   | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft  | \$ 50,000.00           | \$ 16,375.00           | \$ 14,309.50           | \$ 2,065.50          |
| Full depth delamination repairs - \$500/sq.ft.  | \$ 200,000.00          | \$ 200,000.00          | \$ 200,000.00          | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.  | \$ 63,000.00           | \$ 1,137.15            | \$ 1,026.27            | \$ 110.88            |
| Slab edge delamination repairs - \$375/sq.ft.   | \$ 262,500.00          | \$ 262,500.00          | \$ 262,500.00          | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft/.   | \$ 15,000.00           | \$ 150.00              | \$ 105.00              | \$ 45.00             |
| Metal angle and anchor removal - \$250 each   | \$ 125,000.00          | \$ 125,000.00          | \$ 125,000.00          | \$ -                 |
| Metal angle coating - \$200 each  | \$ 75,000.00           | \$ 75,000.00           | \$ 75,000.00           | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.  | \$ 900.00              | \$ -                   | \$ -                   | \$ -                 |
| Deckote installation on balconies   | \$ 80,000.00           | \$ 40,000.00           | \$ 40,000.00           | \$ -                 |
| Painting balcony soffits  | \$ 46,875.00           | \$ 23,437.50           | \$ 23,437.50           | \$ -                 |
| CO 1  |                        |                        |                        |                      |
| Full depth delamination repairs - \$500/sq.ft.  | \$ 265,000.00          | \$ 148,920.00          | \$ 64,331.00           | \$ 84,589.00         |
| Metal angle and anchor removal - \$250 each   | \$ 95,500.00           | \$ 95,500.00           | \$ 39,500.00           | \$ 56,000.00         |
| Metal angle coating - \$200 each  | -\$ 75,000.00          | -\$ 75,000.00          | -\$ 75,000.00          | \$ -                 |
| CO 2  |                        |                        |                        |                      |
| Top surface delamination repairs - \$250/sq.ft  | -\$ 17,500.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.  | -\$ 59,850.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.   | \$ 285,000.00          | \$ 81,108.75           | \$ 18,231.74           | \$ 62,877.01         |
| Vertical surface delamination repairs - \$300/sq/ft/.   | -\$ 12,000.00          | \$ -                   | \$ -                   | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.  | -\$ 810.00             | \$ -                   | \$ -                   | \$ -                 |
| CO 3  |                        |                        |                        |                      |
| Option 1 - Painting all the walls within the balconies  | \$ 54,500.00           | \$ 27,250.00           | \$ 27,250.00           | \$ -                 |
|   |                        |                        |                        |                      |
|   | <b>\$ 3,594,865.00</b> | <b>\$ 2,360,168.40</b> | <b>\$ 2,011,427.61</b> | <b>\$ 348,740.79</b> |
| General requirements \$3460/week  |                        |                        |                        |                      |
| Access \$6905/week  |                        |                        |                        |                      |
| Balcony guardrails -744 panels @ \$920.70 each  |                        |                        |                        |                      |
|   |                        |                        |                        |                      |
|   |                        |                        |                        |                      |
| Guardrails - 8 drops and we have completed 1 drop and materials/glass are there for a second drop |                        |                        |                        |                      |

# Statutory Declaration of Progress Payment Distribution by Contractor

Standard Construction Document

**CCDC 9A – 2018**

To be made by the Contractor as a condition for either

- second and subsequent progress payments; or
- release of holdback.

Application for payment number 6  
 dated April 30, 2025 is the last  
 application for payment for which the Contractor has  
 received payment.

## Information Appearing in the Contract Documents

Name of Project

Bellevue Tower West – Balcony Restoration

Date of Contract: September 20, 2024

Name of Owner

Lionsgate Communities

Name of Contractor

Alumni Restorations Ltd.

## Declaration

I solemnly declare that, as of the date of this declaration, I am an authorized signing officer, partner or sole proprietor of the Contractor, and as such have authority to bind the Contractor, and have personal knowledge of the fact that all accounts for labour, subcontracts, products, services, and construction machinery and equipment which have been incurred directly by the Contractor in the performance of the work as required by the Contract, and for which the Owner might in any way be held responsible, have been paid in full as required by the Contract up to and including the latest progress payment received, as identified above, except for:

- 1) holdback monies properly retained,
- 2) payments deferred by agreement, or
- 3) payment withheld by reason of legitimate dispute which has been identified to the party or parties from whom payment has been withheld.

I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Declared before me in West Vancouver, BC this 30 day of May in the year 2025  
City/Town and Province

Maurice Hulscher

Name

President

Title

Signature

(A Commissioner for Oaths, Notary Public, Justice of the Peace, etc.)

**The making of a false or fraudulent declaration is a contravention of the Criminal Code of Canada, and could carry, upon conviction, penalties including fines or imprisonment.**

This agreement is protected by copyright and is intended by the parties to be an unaltered version of CCDC 9 – 2018 except to the extent that any alterations, additions or modifications are set forth in supplementary conditions.

CCDC

9

2018

Use of this form without a CCDC 9 copyright seal constitutes an infringement of copyright. Use of this form with a CCDC 9 copyright seal demonstrates that it is intended by the parties to be an accurate and unamended version of CCDC 9A – 2018.

**Danielle Catherine Hulscher**  
 A Commissioner for Taking Affidavits for British Columbia  
 Expires: November 30, 2026  
**CCDC** Copyright 2018  
 Canadian Construction Documents Committee



WORKING TO MAKE A DIFFERENCE

47

| Assessment Department   | Location   | Clearance Section   |
|---|--|---|
| <b>Mailing Address</b><br>PO Box 5350<br>Station Terminal<br>Vancouver BC V6B 5L5 | 6951 Westminster Highway<br>Richmond BC<br>V7C 1C6<br>www.worksafebc.com | Telephone 604 244 6380<br>Toll Free within Canada<br>1 888 922 2768<br>Fax 604 244 6390 |

Lionsgate Communities  
c/o Read Jones Christoffersen Ltd.  
1285 West Broadway, Suite 300  
VANCOUVER, BC V6H 3X8

June 10, 2025

Person/Business : ALUMNI RESTORATIONS LTD  
Account number : 624848

This letter provides clearance information for the purposes of Section 258 of the Workers Compensation Act.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to July 01, 2025.

This firm has had continuous coverage with us since March 29, 1999.

Employer Service Centre  
Assessment Department

Clearance Reference # : C135794016  
CLRAAA

For more information about Section 258 and clearance letters visit [WorkSafeBC.com](http://WorkSafeBC.com)

Please refer to your account number in your correspondence or when contacting the Assessment Department.  
To alter this document constitutes fraud.



July 16, 2025

Dan Sander  
 Lionsgate Communities  
 1155 West Pender Street, Suite 620  
 Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
 195 21st Street West Vancouver BC – Certificate for Payment #8**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 8 in the amount of **\$469,928.81** (including GST) and Progress Summary No. 8, dated July 16, 2025.
- Alumni Restorations Ltd.'s invoice #2462 dated June 30, 2025, for work completed to June 30, 2025. Invoice and supporting documents received by RJC on July 8, 2025.
- Statutory Declaration dated July 8, 2025, received by RJC on July 9, 2025.
- WorkSafe BC Letter of Good Standing dated July 16, 2025.

Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.

A handwritten signature in black ink, appearing to read 'Reza', with a date stamp '2025-07-16' below it.

Reza Fallahtafti  
 Designer

*Reviewed by:*

A handwritten signature in black ink, appearing to read 'Ilona', with a date stamp '2025-07-16' below it.

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
 Project Engineer

RFT/jpy



This certificate is prepared for the exclusive use of the Owner. Read Jones Christoffersen Ltd. does not assume responsibility for use of this certificate by others. Issuance of this certificate does not imply acceptance of the Work in place by Read Jones Christoffersen Ltd. or the Owner. The Contractor remains responsible for performance of all work in conformity with the Contract Documents. As used herein, the word "certify" shall mean an expression of the Consultant's professional opinion to the best of its information, knowledge, and belief and does not constitute a warranty or guarantee by the Consultant.

This is to certify that in accordance with the Contract dated: **September 20, 2024**  
**Alumni Restorations Ltd.**  
is entitled (subject to possible claims of any others, such as lien holders) to a payment of:  
**\$469,928.81** (includes GST/HST where applicable)  
( Four Hundred Sixty Nine Thousand Nine Hundred Twenty Eight 81 /100 Dollars )

**Contractor Account**

|  |    |                   |  |
|--|----|-------------------|--|
| 1. Original Contract Price.....                                    | \$ | 3,060,025.50      |  |
| 2. Authorized Additions.....                                       | \$ | 936,000.00        |  |
| 3. Authorized Deductions.....                                      | \$ | 255,531.80        |  |
| 4. Contract Price to Date (1 + 2 - 3).....                         | \$ | 3,740,493.70      |  |
| 5. Estimated Value of Work Done to Date.....                       | \$ | 2,857,447.57      |  |
| 6. Statutory Lien Holdback (10% of 5).....                         | \$ | 285,744.76        |  |
| 7. Statutory Lien Holdback Released.....                           | \$ | 0.00              |  |
| 8. Current Statutory Lien Holdback (6 - 7).....                    | \$ | 285,744.76        |  |
| 9. Total Certified to Date (5 - 8).....                            | \$ | 2,571,702.81      |  |
| 10. Amount Previously Certified (9 from previous certificate)..... | \$ | 2,124,151.56      |  |
| 11. Amount of this Certificate (9 - 10).....                       | \$ | <b>447,551.25</b> |  |
| 12. GST on Amount Certified (5% of 11).....                        | \$ | 22,377.56         |  |
| 13. Total Remittance To Contractor This Certificate (11 + 12)..... | \$ | <b>469,928.81</b> |  |
| 14. Balance of Unpaid Contract (4 - 9).....                        | \$ | 1,168,790.89      |  |

**Statutory Lien Holdback Account**

|  |    |                   |  |
|--|----|-------------------|--|
| 15. Current Statutory Lien Holdback (from 8 above).....                      | \$ | 285,744.76        |  |
| 16. Previous Statutory Lien Holdback (15 from previous certificate.).....    | \$ | 236,016.84        |  |
| 17. Statutory Lien Holdback this Certificate (15-16).....                    | \$ | 49,727.92         |  |
| 18. GST on Statutory Lien Holdback (5% of 17).....                           | \$ | 2,486.40          |  |
| 19a. Total Remittance to Lien Holdback Account this Certificate (17+18)..... | \$ | <b>52,214.32</b>  |  |
| <b>or</b>  |    |                   |  |
| 19b. Total Released from Lien Holdback Account this Certificate (17+18)..... | \$ | 0.00              |  |
| 20. Total Funds Remaining in Holdback Account (Including GST/HST).....       | \$ | <b>300,032.00</b> |  |

Per: \_\_\_\_\_  
READ JONES CHRISTOFFERSEN LTD.

**Date**  
July 16, 2025

**For the Period**  
From: June 1, 2025  
To: June 30, 2025

**Contractor**  
Alumni Restorations Ltd.  
  
4923 Marine Drive  
West Vancouver BC  
V7W 2P5

**Owner**  
Lionsgate Communities  
  
1155 West Pender Street, Suite  
620  
Vancouver BC V6E 2P4

**Distribution**  
  
**CONTRACTOR:**  
Beau Henderson

**OWNER:**  
Dan Sander

**CONSULTANT(S) - RJC:**  
Ilona Cervantes  
Reza Fallahtafi

**Project Name**  
Bellevue Tower West - Balcony  
Restoration

**Project No.**  
VAN.103256.0016

**PROGRESS PAYMENT No. 8**

| SUMMARY OF COSTS         |                          |                        |                        |                         |                        |                        |                        |                      |                        |
|--------------------------|--------------------------|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.                     | Item Description         | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
|                          | Lump Sum Contract Amount | 3,060,025.00           | 2,082,389.65           | 277,863.85              | 2,360,253.50           | 77.13%                 | 699,771.50             | 236,025.35           | 2,124,228.15           |
|                          | Change Order             | 680,468.20             | 277,778.75             | 219,415.32              | 497,194.07             | 73.07%                 | 183,274.13             | 49,719.41            | 447,474.66             |
|                          | <b>TOTAL</b>             | <b>\$ 3,740,493.20</b> | <b>\$ 2,360,168.40</b> | <b>\$ 497,279.17</b>    | <b>\$ 2,857,447.57</b> | <b>76.39%</b>          | <b>\$ 883,045.63</b>   | <b>\$ 285,744.76</b> | <b>\$ 2,571,702.81</b> |
|                          |                          |                        | Complete this Draw     | Lien Holdback           | Subtotal               |                        | Add GST                |                      | <b>TOTAL</b>           |
| <b>Total this claim:</b> |                          |                        | <b>\$ 497,279.17</b>   | <b>\$ 49,727.92</b>     | <b>\$ 447,551.25</b>   |                        | <b>\$ 22,377.56</b>    |                      | <b>\$ 469,928.81</b>   |

| CONTRACT |   |                        |                        |                         |                        |                        |                        |                      |                        |
|----------|---|------------------------|------------------------|-------------------------|------------------------|------------------------|------------------------|----------------------|------------------------|
| Ref.     | Item Description                              | Current Budget         | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total    | Percent Complete Total | Cost to Complete Total | Lien Holdback Total  | Net Payment Total      |
| 1.1      | Mock Up                                       | 35,000.00              | 35,000.00              | 0.00                    | 35,000.00              | 100.00%                | 0.00                   | 3,500.00             | 31,500.00              |
| 1.2      | Mobilization                                  | 45,000.00              | 45,000.00              | 0.00                    | 45,000.00              | 100.00%                | 0.00                   | 4,500.00             | 40,500.00              |
| 1.3      | General Requirements                          | 180,000.00             | 121,100.00             | 13,840.00               | 134,940.00             | 74.97%                 | 45,060.00              | 13,494.00            | 121,446.00             |
| 1.4      | Demobilization                                | 25,000.00              | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 25,000.00              | 0.00                 | 0.00                   |
| 1.5      | Environmental Testing                         | 4,000.00               | 4,000.00               | 0.00                    | 4,000.00               | 100.00%                | 0.00                   | 400.00               | 3,600.00               |
| 1.6      | Access  | 336,000.00             | 241,675.00             | 27,620.00               | 269,295.00             | 80.15%                 | 66,705.00              | 26,929.50            | 242,365.50             |
| 1.7      | Balcony Guard Walls - Demolition and Disposal | 685,000.00             | 685,000.00             | 0.00                    | 685,000.00             | 100.00%                | 0.00                   | 68,500.00            | 616,500.00             |
| 1.8      | General Disposal                              | 40,000.00              | 36,000.00              | 2,000.00                | 38,000.00              | 95.00%                 | 2,000.00               | 3,800.00             | 34,200.00              |
| 1.9      | Guardrail Engineering                         | 10,000.00              | 5,000.00               | 0.00                    | 5,000.00               | 50.00%                 | 5,000.00               | 500.00               | 4,500.00               |
| 1.10     | Guardrails                                    | 781,250.00             | 166,015.00             | 224,610.00              | 390,625.00             | 50.00%                 | 390,625.00             | 39,062.50            | 351,562.50             |
| 1.11     | Maintenance Manual                            | 500.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 500.00                 | 0.00                 | 0.00                   |
| 1.12     | Top Surface Delamination Repairs              | 50,000.00              | 16,375.00              | 9,625.00                | 26,000.00              | 52.00%                 | 24,000.00              | 2,600.00             | 23,400.00              |
| 1.13     | Full Depth Delamination Repairs               | 200,000.00             | 200,000.00             | 0.00                    | 200,000.00             | 100.00%                | 0.00                   | 20,000.00            | 180,000.00             |
| 1.14     | Slab Soffit Repairs                           | 63,000.00              | 1,137.15               | 168.85                  | 1,306.00               | 2.07%                  | 61,694.00              | 130.60               | 1,175.40               |
| 1.15     | Slab Edge Delamination Repairs                | 262,500.00             | 262,500.00             | 0.00                    | 262,500.00             | 100.00%                | 0.00                   | 26,250.00            | 236,250.00             |
| 1.16     | Vertical Surface Delamination Repairs         | 15,000.00              | 150.00                 | 0.00                    | 150.00                 | 1.00%                  | 14,850.00              | 15.00                | 135.00                 |
| 1.17     | Metal Angle and Anchor Removal                | 125,000.00             | 125,000.00             | 0.00                    | 125,000.00             | 100.00%                | 0.00                   | 12,500.00            | 112,500.00             |
| 1.18     | Metal Angle Coating                           | 75,000.00              | 75,000.00              | 0.00                    | 75,000.00              | 100.00%                | 0.00                   | 7,500.00             | 67,500.00              |
| 1.19     | Rout and Caulk Cracks                         | 900.00                 | 0.00                   | 0.00                    | 0.00                   | 0.00%                  | 900.00                 | 0.00                 | 0.00                   |
| 1.20     | Deckote Installation on Balconies             | 80,000.00              | 40,000.00              | 0.00                    | 40,000.00              | 50.00%                 | 40,000.00              | 4,000.00             | 36,000.00              |
| 1.21     | Painting Balcony Soffits                      | 46,875.00              | 23,437.50              | 0.00                    | 23,437.50              | 50.00%                 | 23,437.50              | 2,343.75             | 21,093.75              |
|          | <b>TOTAL</b>                                  | <b>\$ 3,060,025.00</b> | <b>\$ 2,082,389.65</b> | <b>\$ 277,863.85</b>    | <b>\$ 2,360,253.50</b> | <b>77.13%</b>          | <b>\$ 699,771.50</b>   | <b>\$ 236,025.35</b> | <b>\$ 2,124,228.15</b> |

| CHANGE ORDERS |   |                      |                        |                         |                      |                        |                        |                     |                      |
|---------------|---|----------------------|------------------------|-------------------------|----------------------|------------------------|------------------------|---------------------|----------------------|
| Ref.          | Item Description  | Current Budget       | Cost Complete Previous | Cost Complete This Draw | Cost Complete Total  | Percent Complete Total | Cost to Complete Total | Lien Holdback Total | Net Payment Total    |
| CO - 1        | Full depth delamination repair  | 265,000.00           | 148,920.00             | 90,172.00               | 239,092.00           | 90.22%                 | 25,908.00              | 23,909.20           | 215,182.80           |
| CO - 1        | Metal angle and anchor removal  | 95,500.00            | 95,500.00              | -1,750.00               | 93,750.00            | 98.17%                 | 1,750.00               | 9,375.00            | 84,375.00            |
| CO - 1        | Metal Angle Coating   | -75,000.00           | -75,000.00             | 0.00                    | -75,000.00           | 100.00%                | 0.00                   | -7,500.00           | -67,500.00           |
| CO - 2        | Top surface delamination repair   | -17,500.00           | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -17,500.00             | 0.00                | 0.00                 |
| CO - 2        | Soffit delamination repair  | -59,850.00           | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -59,850.00             | 0.00                | 0.00                 |
| CO - 2        | Slab edge concrete delamination repair  | 285,000.00           | 81,108.75              | 95,535.00               | 176,643.75           | 61.98%                 | 108,356.25             | 17,664.38           | 158,979.38           |
| CO - 2        | Vertical surface delamination repair  | -12,000.00           | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -12,000.00             | 0.00                | 0.00                 |
| CO - 2        | Rout and caulk cracks   | -810.00              | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -810.00                | 0.00                | 0.00                 |
| CO - 3        | Painting all the walls within the balconies                                       | 54,500.00            | 27,250.00              | 13,625.00               | 40,875.00            | 75.00%                 | 13,625.00              | 4,087.50            | 36,787.50            |
| CO - 3        | Cleaning and Painting Exterior Concrete Walls and Concrete Panels between Windows | 150,000.00           | 0.00                   | 7,500.00                | 7,500.00             | 5.00%                  | 142,500.00             | 750.00              | 6,750.00             |
| CO - 3        | Concrete Repair Credit  | -90,371.80           | 0.00                   | 0.00                    | 0.00                 | 0.00%                  | -90,371.80             | 0.00                | 0.00                 |
| CO - 5        | Sealant Replacement at Window Perimeters  | 40,000.00            | 0.00                   | 6,666.66                | 6,666.66             | 16.67%                 | 33,333.34              | 666.67              | 5,999.99             |
| CO - 5        | Sealant replacement at Perimeter of Precast Concrete Panels                       | 46,000.00            | 0.00                   | 7,666.66                | 7,666.66             | 16.67%                 | 38,333.34              | 766.67              | 6,899.99             |
|               | <b>TOTAL</b>  | <b>\$ 680,468.20</b> | <b>\$ 277,778.75</b>   | <b>\$ 219,415.32</b>    | <b>\$ 497,194.07</b> | <b>73.07%</b>          | <b>\$ 183,274.13</b>   | <b>\$ 49,719.41</b> | <b>\$ 447,474.66</b> |

**INVOICE**

30 June 2025

To: Lionsgate Communities  
 C/O Ilona Cervantes  
 RJC  
 1285 West Broadway, Suite 300  
 Vancouver BC V6H 3X8



GST #:87177-9427RT  
 Invoice #:2462

**Re: Bellevue Tower West – Balcony Restoration  
 Progress Draw # 8**

|                    |                |
|--------------------|----------------|
| Subtotal:          | \$497 279.17   |
| Less 10% holdback: | (\$ 49 727.92) |
| Subtotal:          | \$447 551.25   |
| GST:               | \$ 22 377.56   |
| Total:             | \$469 928.81   |

Should you have any questions regarding this invoice, please feel free to contact me at my office at 983-2512.

Yours sincerely,

Maurice F. Hulscher  
 President, Alumni Restorations Ltd.

| <b>Bellevue Towers</b>                                 |                        |                        |                        |                      |
|--|------------------------|------------------------|------------------------|----------------------|
| <b>Progress Draw # 8</b>                               |                        |                        |                        |                      |
|  | <b>52</b>              |                        |                        |                      |
| <b>Item</b>  | <b>Contract</b>        | <b>Total</b>           | <b>Previous</b>        | <b>Current</b>       |
| Mock up  | \$ 35,000.00           | \$ 35,000.00           | \$ 35,000.00           | \$ -                 |
| Mobilization   | \$ 45,000.00           | \$ 45,000.00           | \$ 45,000.00           | \$ -                 |
| General requirements                                   | \$ 180,000.00          | \$ 134,940.00          | \$ 121,100.00          | \$ 13,840.00         |
| Demobilization   | \$ 25,000.00           | \$ -                   | \$ -                   | \$ -                 |
| Environmental testing                                  | \$ 4,000.00            | \$ 4,000.00            | \$ 4,000.00            | \$ -                 |
| Access   | \$ 336,000.00          | \$ 269,295.00          | \$ 241,675.00          | \$ 27,620.00         |
| Balcony guard walls                                    | \$ 685,000.00          | \$ 685,000.00          | \$ 685,000.00          | \$ -                 |
| General disposal                                       | \$ 40,000.00           | \$ 38,000.00           | \$ 36,000.00           | \$ 2,000.00          |
| Guardrail engineering                                  | \$ 10,000.00           | \$ 5,000.00            | \$ 5,000.00            | \$ -                 |
| Guardrails   | \$ 781,250.00          | \$ 390,625.00          | \$ 166,015.00          | \$ 224,610.00        |
| Maintenance manual                                     | \$ 500.00              | \$ -                   | \$ -                   | \$ -                 |
| Top surface delamination repairs - \$250/sq.ft         | \$ 50,000.00           | \$ 26,000.00           | \$ 16,375.00           | \$ 9,625.00          |
| Full depth delamination repairs - \$500/sq.ft.         | \$ 200,000.00          | \$ 200,000.00          | \$ 200,000.00          | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                     | \$ 63,000.00           | \$ 1,306.00            | \$ 1,137.15            | \$ 168.85            |
| Slab edge delamination repairs - \$375/sq.ft.          | \$ 262,500.00          | \$ 262,500.00          | \$ 262,500.00          | \$ -                 |
| Vertical surface delamination repairs - \$300/sq/ft/.  | \$ 15,000.00           | \$ 150.00              | \$ 150.00              | \$ -                 |
| Metal angle and anchor removal - \$250 each            | \$ 125,000.00          | \$ 125,000.00          | \$ 125,000.00          | \$ -                 |
| Metal angle coating - \$200 each                       | \$ 75,000.00           | \$ 75,000.00           | \$ 75,000.00           | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                   | \$ 900.00              | \$ -                   | \$ -                   | \$ -                 |
| Deckote installation on balconies                      | \$ 80,000.00           | \$ 60,000.00           | \$ 60,000.00           | \$ -                 |
| Painting balcony soffits                               | \$ 46,875.00           | \$ 35,156.25           | \$ 35,156.25           | \$ -                 |
| CO 1   |                        |                        |                        |                      |
| Full depth delamination repairs - \$500/sq.ft.         | \$ 265,000.00          | \$ 239,092.00          | \$ 148,920.00          | \$ 90,172.00         |
| Metal angle and anchor removal - \$250 each            | \$ 95,500.00           | \$ 93,750.00           | \$ 95,500.00           | -\$ 1,750.00         |
| Metal angle coating - \$200 each                       | -\$ 75,000.00          | -\$ 75,000.00          | -\$ 75,000.00          | \$ -                 |
| CO 2   |                        |                        |                        |                      |
| Top surface delamination repairs - \$250/sq.ft         | -\$ 17,500.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab soffit repairs - \$315/sq.ft.                     | -\$ 59,850.00          | \$ -                   | \$ -                   | \$ -                 |
| Slab edge delamination repairs - \$375/sq.ft.          | \$ 285,000.00          | \$ 176,643.75          | \$ 81,108.75           | \$ 95,535.00         |
| Vertical surface delamination repairs - \$300/sq/ft/.  | -\$ 12,000.00          | \$ -                   | \$ -                   | \$ -                 |
| Rout and caulk cracks - \$18/lin.ft.                   | -\$ 810.00             | \$ -                   | \$ -                   | \$ -                 |
| CO 3   |                        |                        |                        |                      |
| Option 1 - Painting all the walls within the balconies | \$ 54,500.00           | \$ 40,875.00           | \$ 27,250.00           | \$ 13,625.00         |
| CO 4 - \$115,000 for p.w. and painting; \$35,000 for w | \$ 150,000.00          | \$ 7,500.00            | \$ -                   | \$ 7,500.00          |
| CO 4 - \$90,371.80 concrete credit                     | -\$ 90,371.80          |                        | \$ -                   |                      |
| CO 5 - Sealant replacement at window perimeters        | \$ 40,000.00           | \$ 6,666.66            | \$ -                   | \$ 6,666.66          |
| CO 5 - Sealant replacement at perimeter of precast     | \$ 46,000.00           | \$ 7,666.66            | \$ -                   | \$ 7,666.66          |
|  | <b>\$ 3,740,493.20</b> | <b>\$ 2,889,166.32</b> | <b>\$ 2,391,887.15</b> | <b>\$ 497,279.17</b> |
| General requirements \$3460/week                       |                        |                        |                        |                      |
| Access \$6905/week                                     |                        |                        |                        |                      |
| Balcony guardrails -744 panels @ \$920.70 each         |                        |                        |                        |                      |

# Statutory Declaration of Progress Payment Distribution by Contractor

Standard Construction Document

**CCDC 9A – 2018**

To be made by the Contractor as a condition for either

- second and subsequent progress payments; or  
 release of holdback.

Application for payment number 7  
dated May 30 2025 is the last  
application for payment for which the Contractor has  
received payment.

## Information Appearing in the Contract Documents

Name of Project

Bellevue Tower West - Balcony Restoration

Date of Contract: September 20, 2024

Name of Owner

Lionsgate Communities

Name of Contractor

Alumni Restorations Ltd.

## Declaration

I solemnly declare that, as of the date of this declaration, I am an authorized signing officer, partner or sole proprietor of the Contractor, and as such have authority to bind the Contractor, and have personal knowledge of the fact that all accounts for labour, subcontracts, products, services, and construction machinery and equipment which have been incurred directly by the Contractor in the performance of the work as required by the Contract, and for which the Owner might in any way be held responsible, have been paid in full as required by the Contract up to and including the latest progress payment received, as identified above, except for:

- 1) holdback monies properly retained,
- 2) payments deferred by agreement, or
- 3) payment withheld by reason of legitimate dispute which has been identified to the party or parties from whom payment has been withheld.


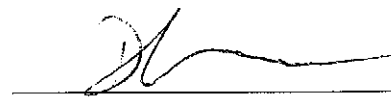
I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Declared before me in West Vancouver, BC this 8 day of July in the year 2025  
City/Town and Province

Maurice Hulscher

Name

President

Title

Signature

(A Commissioner for Oaths, Notary Public, Justice of the Peace, etc.)

**The making of a false or fraudulent declaration is a contravention of the Criminal Code of Canada, and could carry, upon conviction, penalties including fines or imprisonment.**

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WORKING TO MAKE A DIFFERENCE

|                              |                          |                          |  |
|------------------------------|--------------------------|--------------------------|--|
|                              | <b>54</b>                |                          |  |
| <b>Assessment Department</b> | <b>Location</b>          | <b>Clearance Section</b> |  |
| <b>Mailing Address</b>       | 6951 Westminster Highway | Telephone 604 244 6380   |  |
| PO Box 5350                  | Richmond BC              | Toll Free within Canada  |  |
| Station Terminal             | V7C 1C6                  | 1 888 922 2768           |  |
| Vancouver BC V6B 5L5         | www.worksafebc.com       | Fax 604 244 6390         |  |

Lionsgate Communities  
c/o Read Jones Christoffersen Ltd.  
1285 West Broadway, Suite 300  
VANCOUVER, BC V6H 3X8

July 16, 2025

Person/Business : ALUMNI RESTORATIONS LTD  
Account number : 624848

This letter provides clearance information for the purposes of Section 258 of the Workers Compensation Act.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to October 01, 2025.

This firm has had continuous coverage with us since March 29, 1999.

Employer Service Centre  
Assessment Department

Clearance Reference # : C135889619  
CLRAAA

For more information about Section 258 and clearance letters visit [WorkSafeBC.com](http://WorkSafeBC.com)

Please refer to your account number in your correspondence or when contacting the Assessment Department.  
To alter this document constitutes fraud.



August 14, 2025

Dan Sander  
Lionsgate Communities  
1155 West Pender Street, Suite 620  
Vancouver BC V6E 2P4

Dear Dan Sander,

**RE: Bellevue Tower West – Balcony Restoration  
195 21st Street West Vancouver BC – Certificate for Payment #9**

**RJC No. VAN.103256.0016**

Please find enclosed the following:

- Read Jones Christoffersen Ltd. (RJC) Certificate for Payment No. 9 in the amount of **\$207,214.29** (including GST) and Progress Summary No. 9, dated August 14, 2025.
- Alumni Restorations Ltd.'s invoice #2467 dated July 30, 2025, for work completed to July 31, 2025. Revised invoice and supporting documents received by RJC on August 8, 2025.
- Statutory Declaration dated July 31, 2025, received by RJC on August 6, 2025.
- WorkSafe BC Letter of Good Standing dated August 14, 2025.

As indicated on Alumni Restorations Ltd.'s statutory declaration, payment has not been received for Certificate for Payment (CFP) #8, which was sent electronically to the Owner on July 16, 2025. If payment has been made for CFP#8, please advise RJC so we can request an updated statutory declaration from the Contractor. Based on our review of the Contractor's invoice, we believe that it reflects the work completed to the date cited and we therefore recommend payment. Please ensure remittance is forwarded directly to the Contractor and that holdback funds, as per RJC's Certificate, are deposited directly into the holdback account.

Should you have any questions, please contact the undersigned.

Yours truly,  
READ JONES CHRISTOFFERSEN LTD.

Reza Fallahtafti  
Designer

*Reviewed by:*

Ilona Cervantes, B.A.Sc., MEng, P.Eng., LEED® AP  
Project Engineer

RFT/jpy