



## Roof Condition Report - Terraces on Tenth, New Westminster

*Prepared For:*

**CAPREIT LP**

Cody Neal

543 Granville Street, Suite # 701

Vancouver, British Columbia V6C 1X8



*Prepared By:*

**Pinnacle Group Inc.**

73 Industrial Parkway North, Unit #3

Aurora, ON, L4G 4C4 Tel: (905) 503-1300

**Inspection Date:**

5/22/2018

**Report Number:**

28-484

**Technical Representative:**

B.Hexham / T. Challis

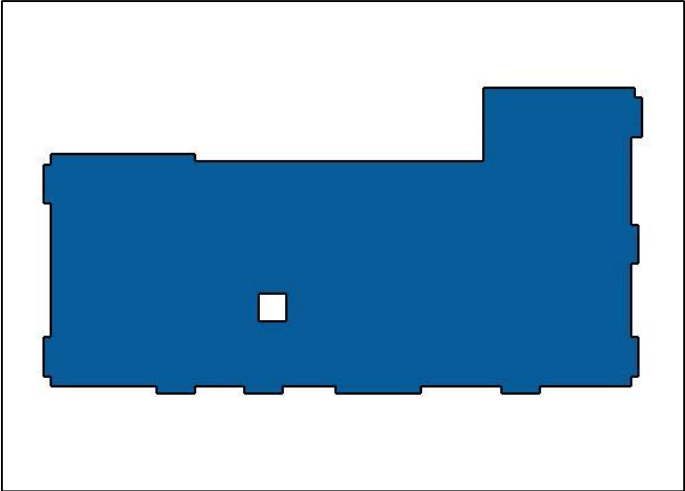
**Sales Representative:**

Brandon Hexham

bhexham@thepinnaclegroup.ca



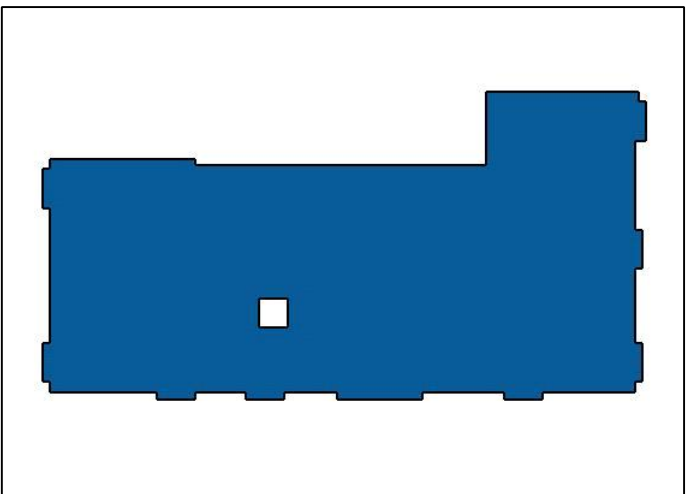
Overview



Building / Roof Level	Condition	Area (SF)	Roof System	Estimated Install Date
Terraces on Tenth / 100	Very Poor	11,698	Mod.Bit.	1998
Terraces on Tenth / 200	Fair	64	Mod. Bit.	2004

Roof Condition Report


Roof: 100	Building: Terraces on Tenth
-----------	-----------------------------




Roof System:	Mod.Bit.
Estimated Install Date:	1998
Condition Index:	Very Poor
Interior Sensitivity:	Normal
Roof Sq. Ft.:	11,698
Height:	40'
Roof Access:	Roof Hatch

Assessment: The west half of this roof level is approximately 20 years old, while the east half was replaced approximately 14 years ago. Signs of deterioration and some serious roofing deficiencies were noted. This roof level should last its full serviceable life expectancy, but complete roof replacement should be scheduled within the next 4-5 years.

Roof Core





Core Sample

The core cut was taken to verify the roof condition and composition in this particular location on the roof. The roofing assembly is:

- 2 Plies of Modified Bituminous Membranes
- 1/2" Fibreboard Insulation
- Wood Deck

Deficiencies



**Condition:** Blister  
**Severity:** High  
**Quantity:** 1

Numerous (+/-50) blisters were noted on this roof level. Blisters are an indication that either air or moisture are trapped within the roofing system.



**Condition:** Blister 1  
**Severity:** High  
**Quantity:** 1

Another typical blister located in the field of the roof.





**Condition:** Blister 2  
**Severity:** High  
**Quantity:** 1

Another large blister near the roof perimeter.



**Condition:** Counterflashing- sealant  
**Severity:** High  
**Quantity:** 2

The sealant at the wall reglet or the top of counterflashing is missing or no longer functioning, possibly allowing water to channel behind the counterflashing.



**Condition:** Pitch pan sealant  
**Severity:** High  
**Quantity:** 1

The mastic is low and/or open in a pitch pan on this roof level. This condition may be allowing water to enter into the roofing assembly and/or building.



**Condition:** Ridges  
**Severity:** High  
**Quantity:** 1

Ridges were noted throughout this roof level. Ridges usually form over voids between insulation boards and can be very harmful to the roofing system.



**Condition:** Ridges 1  
**Severity:** High  
**Quantity:** 1

More ridges noted throughout this roof level.



**Condition:** Overhanging Trees  
**Severity:** Medium  
**Quantity:** 1

Overhanging trees were noted along the perimeter of this roof level. The tree branches may scrape the roofing membranes and cause premature erosion in this area.





More overhanging trees depositing debris onto the roof.



**Condition:** Overhanging Trees 1  
**Severity:** Medium  
**Quantity:** 1



The downspout is missing from the scupper on this roof level. The draining water is staining the wall and may cause premature membrane erosion on the lower roof level.



**Condition:** Scupper- down spout loose/  
**Severity:** Medium  
**Quantity:** 1





**Condition:** Sealant failure  
**Severity:** Medium  
**Quantity:** 1

Overview of open and deteriorated mastic in the corner of the unit. This condition may be allowing water to enter the roofing assembly and/or building.



**Condition:** Debris on roof  
**Severity:** Low  
**Quantity:** 1

Areas of scattered rooftop debris were noted lying directly on the surface of the roof. All non-essential items should be immediately removed.

## Roof Condition Report

---



**Condition:** Debris on roof 1

**Severity:** Low

**Quantity:** 1

More rooftop debris.



**Condition:** Drain- vegetation build up

**Severity:** Low

**Quantity:** 1

Vegetation build-up is preventing proper drainage of the roof.



**Condition:** Drain- vegetation build up 1  
**Severity:** Low  
**Quantity:** 1

More debris blocking proper drainage at another roof drain.



**Condition:** Organic debris  
**Severity:** Low  
**Quantity:** 1

An accumulation of organic debris was noted on this roof level.



## Roof Condition Report



**Condition:** Organic debris 1

**Severity:** Low

**Quantity:** 1

More organic debris throughout this roof level.

### Proposed Work

Date	Activity	Allocation	Urgency	Budget Cost \$
2018	Repair	Expense	High	4,100

- Clear the roof and roof drains of all debris
- Trim back all overhanging trees
- Remove all rooftop debris
- Seal the wall detail where the sealant is open and deteriorated
- Seal the transition detail between the brick and stucco where the sealant is open and deteriorated
- Top up 1 pitch pan at the water valve
- Install a downspout at the scupper from the penthouse roof

The severe ridging and blistering should be monitored for further development at this time.

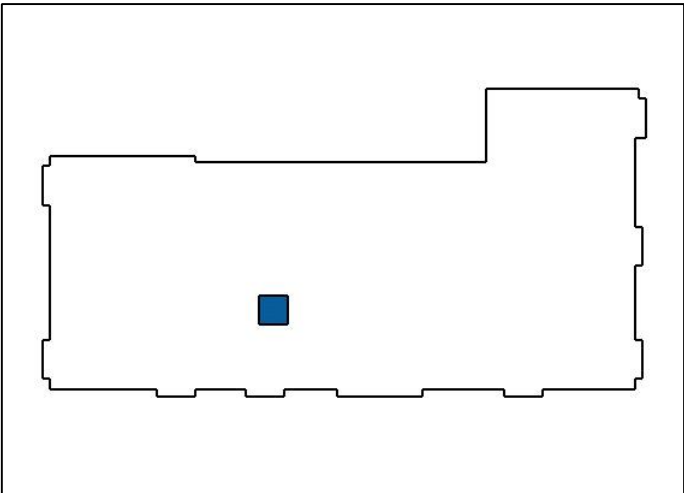
2022	Replacement	Capital	High	375,000
------	-------------	---------	------	---------

Due to the age and deteriorated state of this roof level, we recommend it is scheduled for replacement within the next 4-5 years.

Roof Condition Report

Roof: 200

Building: Terraces on Tenth



Roof System:	Mod. Bit.
Estimated Install Date:	2004
Condition Index:	Fair
Interior Sensitivity:	Normal
Roof Sq. Ft.:	64
Height:	50'
Roof Access:	Ladder Required

Assessment: This roof level appears to be approximately 14 years old. With continued maintenance and annual inspections, this roof level should reach its full serviceable life expectancy.

## Roof Condition Report

### Deficiencies



**Condition:** Organic debris

**Severity:** Low

**Quantity:** 1

An accumulation of organic debris was noted on this roof level.

### Proposed Work

Date	Activity	Allocation	Urgency	Budget Cost \$
2018	Maintain	Unallocated		0

- Clear the roof and roof drain of all debris



## Roof Condition Report

---

### Budget Totals

Building / Roof	2018	2019	2020	2021	2022
Terraces on Tenth / 100	4,100	0	0	0	375,000
Terraces on Tenth / 200	0	0	0	0	0
<b>Totals \$</b>	<b>4,100</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>375,000</b>

