



## Roof Condition Report - Carlton Park Gardens - 10851 Mortfield Road, Richmond, BC

*Prepared For:*

**CAPREIT LP**

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CANADIAN APARTMENT  
PROPERTIES • REIT

*Prepared By:*

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**Inspection Date:**

7/20/2022

**Report Number:**

221073

**Technical Representative:**

Robert Squires

**Reviewed By:**

James White



### **METHOD OF INSPECTION:**

On July 20<sup>th</sup> of 2022, a visual review was carried out on the roof systems installed at 10851 Mortfield Road in Richmond, BC. The roof membranes and flashings were visually examined, where available. Every effort was made to observe all roof components. A pictorial presentation of the various conditions of interest on the roof surface is included at the end of the report. All comments made in this report are based on the Inspector's professional opinion.

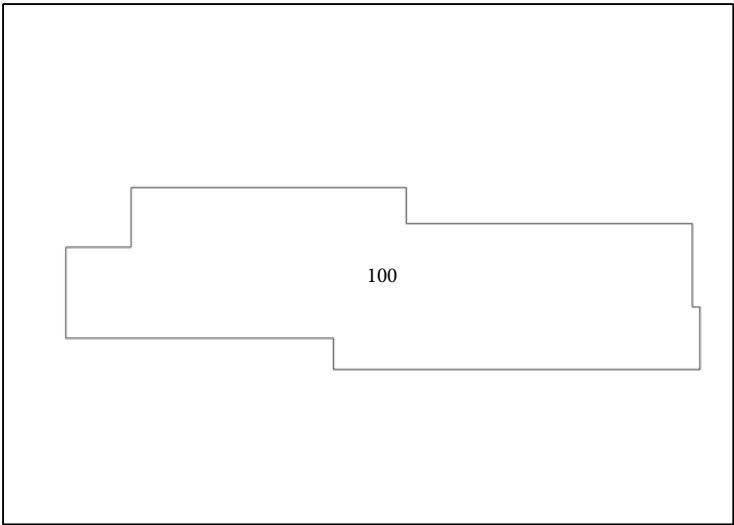
### **EXECUTIVE SUMMARY:**

#### **Roof levels 100: 2-Ply Modified Bitumen**

- Roof level is approximately 16 years old and appears to be in very poor condition.
- Organics, overhanging tree branches, unsecured cables, debris, deteriorated sealant, damaged membrane ridges and numerous blisters were noted during this assessment.
- Roof replacement should commence as soon as budgeting allows.

\*\* All budget figures included in this report are +/-10% and are reflected in today's dollar figures.

Overview

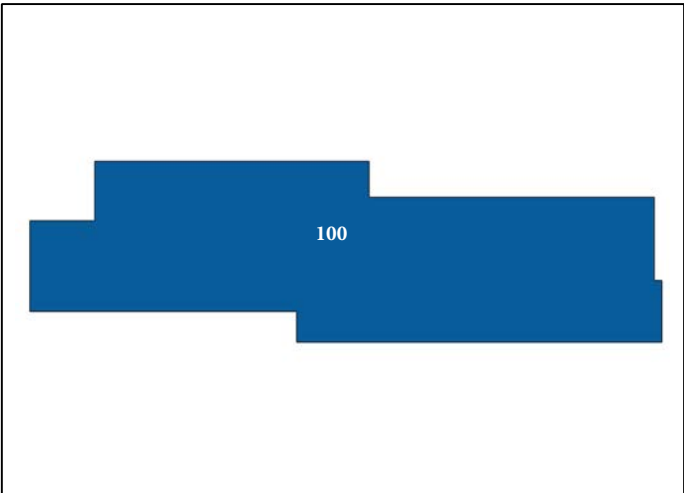


| Building / Roof Level     | Condition | Area (SF)<br>(Approx.) | Roof System      | Estimated Install Date |
|---------------------------|-----------|------------------------|------------------|------------------------|
| 10851 Mortfield Rd. / 100 | Very Poor | 13,591                 | Modified Bitumen | 2006                   |

# Roof Condition Report

Roof: 100

Building: 10851 Mortfield Rd.



Roof System: Modified Bitumen  
Estimated Install Date: 2006  
Condition Index: Very Poor  
Roof Access: Roof Hatch  
Approx. Roof Sq. Ft.: 13,591  
Height: 32'

Assessment: This roof level appears to be approximately 16 years old and appears in very poor condition. Roof replacement is recommended as soon as budgeting allows.

## Roof Core



Core Sample

The core cut was taken to verify the roof condition and composition in this particular location on the roof. The roofing assembly is:

- 2 Plies of Modified Bituminous Membranes (mopped)
- 2" Fibreboard Insulation (mopped)
- Kraft Paper Vapour Retarder
- Wood Deck

Deficiencies & Overviews



◆

**Condition:** Blister  
**Severity:** High  
**Quantity:** 4

Several blisters were noted on this roof level. Blisters are an indication that either air or moisture are trapped within the roofing system.



◆

**Condition:** Blister 1  
**Severity:** High  
**Quantity:** 2

More blisters located in the field of the roof.



◆

**Condition:** Blister 2  
**Severity:** High  
**Quantity:** 1

Another view of the blisters.



◆

**Condition:** Blister 3  
**Severity:** High  
**Quantity:** 1

Another typical blister located in the field of the roof.



◆

**Condition:** Blister 4  
**Severity:** High  
**Quantity:** 1

More blisters located in the field of the roof.



◆

**Condition:** Blister 5  
**Severity:** High  
**Quantity:** 1

Another large blister located in the field of the roof.



**Condition:** Deteriorated membrane  
**Severity:** High  
**Quantity:** 1

The modified bituminous cap sheet is cracking throughout the field of the roof. This condition was also noted in previous report.



**Condition:** Deteriorated membrane 1  
**Severity:** High  
**Quantity:** 1

Another area with damaged cap sheet due to the cables lying directly on the membrane.



**Condition:** Ridges  
**Severity:** High  
**Quantity:** 1

There are numerous ridges and areas with wrinkled membrane throughout this roof level.



**Condition:** Missing insulation support  
**Severity:** Medium  
**Quantity:** 1

There are several wires running over the roof. Over time, the movement of the wires across the cap sheet membranes can cause damage to the underlying roof.



**Condition:** Missing insulation support 2  
**Severity:** Medium  
**Quantity:** 1

Another view of the cables directly on the membrane. More blisters and organic debris also noted.



**Condition:** Overhanging Trees  
**Severity:** Medium  
**Quantity:** 1

Overhanging trees were noted along the perimeter of this roof level.



**Condition:** Ponding  
**Severity:** Medium  
**Quantity:** 1

Large areas with evidence of ponding water and organic debris were observed on this roof level.



**Condition:** Sealant failure at stack  
**Severity:** Medium  
**Quantity:** 1

The sealant around the rain collar of this furnace stack is open and deteriorated. This condition may be allowing water to enter the roofing assembly and/or building.



ⓐ

**Condition:** Debris on roof  
**Severity:** Low  
**Quantity:** 1

Areas of scattered rooftop debris were noted lying directly on the surface of the roof. All non-essential items should be immediately removed.



ⓑ

**Condition:** Debris on roof 1  
**Severity:** Low  
**Quantity:** 1

More debris and lint to be cleared off the roof and the dryer vent.



**Condition:** Organic debris  
**Severity:** Low  
**Quantity:** 1

An accumulation of organic debris was noted on this roof level.



**Condition:** Organic debris 1  
**Severity:** Low  
**Quantity:** 1

More organic debris and vegetation to be cleared off the roof surface.



**Condition:** Repairs  
**Severity:** Low  
**Quantity:** 1

View of the repairs completed previously.



**Condition:** Repairs 1  
**Severity:** Low  
**Quantity:** 1

More modified bitumen membrane repairs completed previously.

# Roof Condition Report

## Proposed Work

| Date | Activity    | Allocation | Urgency | Budget Cost \$ |
|------|-------------|------------|---------|----------------|
| 2023 | Replacement | Capital    | High    | 410,000        |

Due to the age and condition of the installed roofing assembly, roof replacement should commence as soon as budgeting allows.

# Roof Condition Report

## Total Capital Budgets

| Building / Roof           | 2023    | 2024 | 2025 | 2026 | 2027 |
|---------------------------|---------|------|------|------|------|
| 10851 Mortfield Rd. / 100 | 410,000 | 0    | 0    | 0    | 0    |
| Totals \$                 | 410,000 | 0    | 0    | 0    | 0    |

## Yearly Maintenance & Expenses Budget

| Building / Roof           | 2023 | 2024 | 2025 | 2026 | 2027 |
|---------------------------|------|------|------|------|------|
| 10851 Mortfield Rd. / 100 | 0    | 0    | 0    | 0    | 0    |
| Totals \$                 | 0    | 0    | 0    | 0    | 0    |

## Budget Totals

| Building / Roof           | 2023    | 2024 | 2025 | 2026 | 2027 |
|---------------------------|---------|------|------|------|------|
| 10851 Mortfield Rd. / 100 | 410,000 | 0    | 0    | 0    | 0    |
| Totals \$                 | 410,000 | 0    | 0    | 0    | 0    |

