



Roof Condition Report - Hartnell House - 1204 Yates Street, Victoria, BC

Prepared For:

CAPREIT LP

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CANADIAN APARTMENT
PROPERTIES • REIT

Prepared By:

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Inspection Date:

11/9/2022

Report Number:

221234

Technical Representative:

Todd Palmer

Reviewed By:

James White



METHOD OF INSPECTION:

On November 9th of 2022, a visual review was carried out on the roof systems installed at Hartnell House Apartments located at 1204 Yates Street in Victoria, BC. The roof membrane and flashings were visually examined, where available. Every effort was made to observe all roof components. A pictorial presentation of the various conditions of interest on the roof surface is included at the end of the report. All comments made in this report are based on the Inspector's professional opinion.

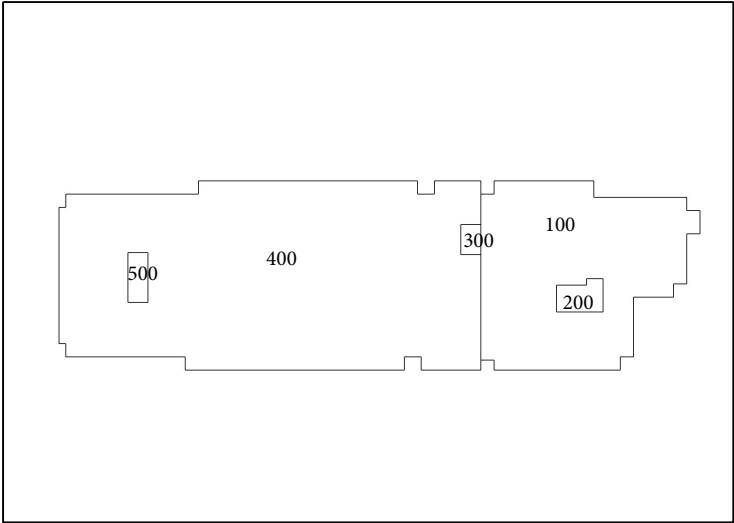
EXECUTIVE SUMMARY:

Roof levels 100, 200, 300, 400 & 500: 2-Ply Modified Bitumen

- Roof levels appear to be approximately 15-20 years old and appear to be in poor condition.
- Numerous blisters, wrinkles, organics, corrosion and areas with damaged and cracked membrane were noted throughout these roof levels. Several areas with water ponding were also observed.
- Roof replacement should be scheduled in the next 1-2 years.

** All budget figures included in this report are +/-10% and are reflected in today's dollar figures

Overview

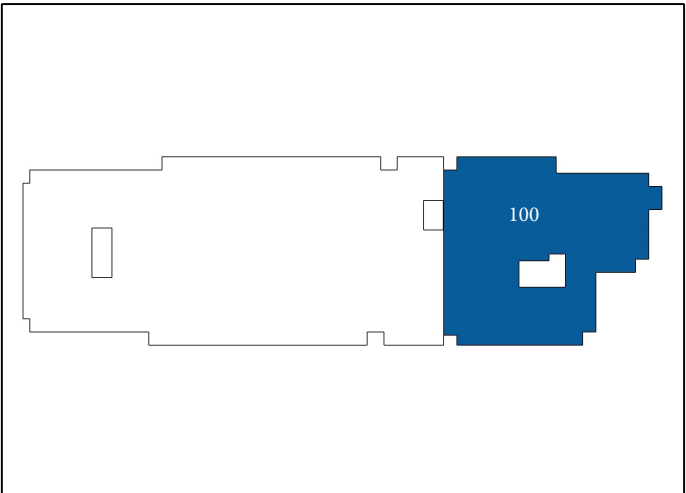


Building / Roof Level	Condition	Area (SF) (Approx.)	Roof System	Estimated Install Date
1204 Yates Str. / 100	Poor	2,888	Modified Bitumen	2005
1204 Yates Str. / 200	Poor	122	Modified Bitumen	2005
1204 Yates Str. / 300	Poor	54	Modified Bitumen	2005
1204 Yates Str. / 400	Poor	6,719	Modified Bitumen	2005
1204 Yates Str. / 500	Poor	90	Modified Bitumen	2005

Roof Condition Report

Roof: 100

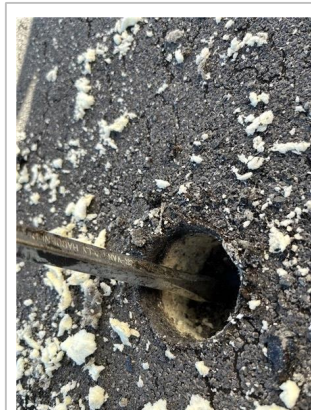
Building: 1204 Yates Str.



Roof System: Modified Bitumen
Estimated Install Date: 2005
Condition Index: Poor
Roof Access: Roof Hatch
Approx. Roof Sq. Ft.: 2,888
Height: 40'

Assessment: This roof level is approximately 15-20 years old. Signs of deterioration and some serious roofing deficiencies were noted. Roof replacement should be scheduled within the next 1-2 years.

Roof Core



Core Sample

The core cut was taken to verify the roof condition and composition in this particular location on the roof. The roofing assembly is:

- 2 Ply Modified Bitumen Roofing Membrane
- 0.5" Fibreboard
- 2.5" Polyisocyanurate Insulation
- Wood Deck



Core Sample 1

Another view of the roofing assembly:

- 2 Ply Modified Bitumen Roofing Membrane
- 0.5" Fibreboard
- 2.5" Polyisocyanurate Insulation
- Wood Deck

Deficiencies & Overviews



Condition: Blister
Severity: High
Quantity: 1

Blisters are an indication that either air or moisture are trapped within the roofing system. Blisters will continue to grow and can easily be broken by foot traffic on the roof. +/-20 blisters were noted on the roof.



Condition: Blister 1
Severity: High
Quantity: 1

Another typical blister.

Roof Condition Report



♦
Condition: Blister 2

Severity: High

Quantity: 1

More blisters in the modified bitumen membrane.



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Condition: Blister 3

Severity: High

Quantity: 2

Another large blister and water ponding.



Condition: Blister 4
Severity: High
Quantity: 1

Another large blister near the perimeter.



Condition: Blister 5
Severity: High
Quantity: 1

More blistered roofing membrane.



Condition: Deteriorated membrane
Severity: High
Quantity: 1

Several areas with damaged/cracked membrane were noted throughout this roof level.



Condition: Deteriorated membrane 1
Severity: High
Quantity: 1

Another area around the soil stack with damaged and cracked membrane.



More damaged membrane.

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Condition: Deteriorated membrane 2
Severity: High
Quantity: 1



More damaged, wrinkled and blistered membrane.

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Condition: Deteriorated membrane 3
Severity: High
Quantity: 1



Condition: Corrosion
Severity: Medium
Quantity: 1

Several corroded soil stacks were noted on this roof level.



Condition: Corrosion 1
Severity: Medium
Quantity: 1

View of another corroded/damaged soil stack.



Condition: Corrosion 2
Severity: Medium
Quantity: 1

Another corroded/damaged soil stack.



Condition: Missing stack cap
Severity: Medium
Quantity: 1

There is a missing stack cap around this soil stack. This condition may be allowing water to enter the roofing assembly and/or building.



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Condition: Organic debris
Severity: Low
Quantity: 1

An accumulation of organic debris was noted on this roof level.



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Condition: Organic debris 1
Severity: Low
Quantity: 1

More organic debris at the perimeter.

Roof Condition Report

Proposed Work

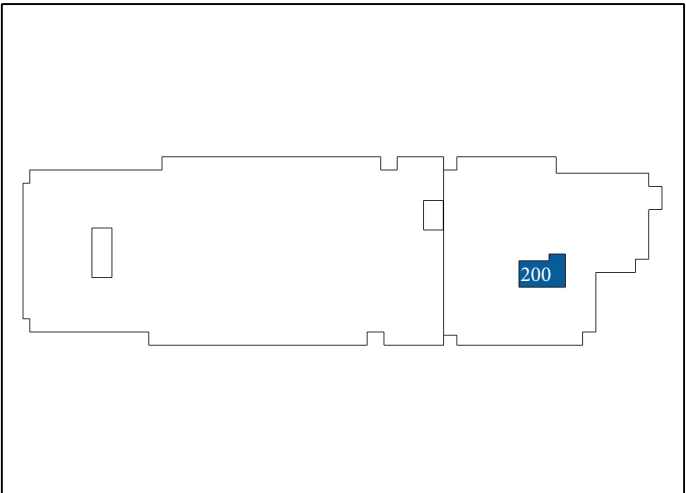
Date	Activity	Allocation	Urgency	Budget Cost \$
2023	Replacement	Capital	High	117,000

Due to the age and condition of the installed roofing assembly, roof replacement should be scheduled in the next 1-2 years.

Roof Condition Report

Roof: 200

Building: 1204 Yates Str.



Roof System: Modified Bitumen
Estimated Install Date: 2005
Condition Index: Poor
Roof Access: Exterior
Approx. Roof Sq. Ft.: 122
Height: 47'

Assessment: This roof level is approximately 15-20 years old. Roof replacement should be scheduled within the next 1-2 years or at the same time as roof level 100.

Deficiencies & Overviews



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Condition: Deteriorated membrane
Severity: High
Quantity: 1

The roofing membrane is deteriorated with several under water blisters also noted.



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Condition: Overview
Quantity: 1

Another view of the elevator penthouse roof.

Roof Condition Report

Proposed Work

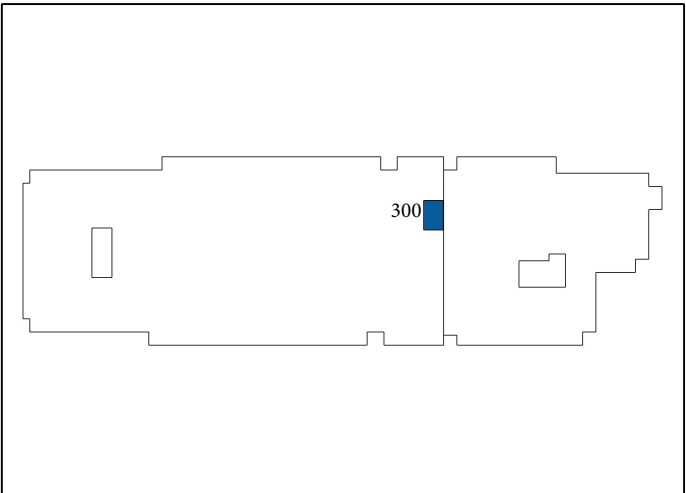
Date	Activity	Allocation	Urgency	Budget Cost \$
2023	Replacement	Capital	High	5,000

Due to the age and condition of the installed roofing assembly, roof replacement should be scheduled in the next 1-2 years or at the same time as the main roof level to ensure preferred pricing.

Roof Condition Report

Roof: 300

Building: 1204 Yates Str.



Roof System: Modified Bitumen
Estimated Install Date: 2005
Condition Index: Poor
Roof Access: Exterior
Approx. Roof Sq. Ft.: 54
Height: 45'

Assessment: This roof level is approximately 15-20 years old. Roof replacement should be scheduled within the next 1-2 years or at the same time as the main roof levels.

Deficiencies & Overviews



Condition: Blister
Severity: High
Quantity: 1

View of ponding and under water blisters that were observed on this roof level .

Proposed Work

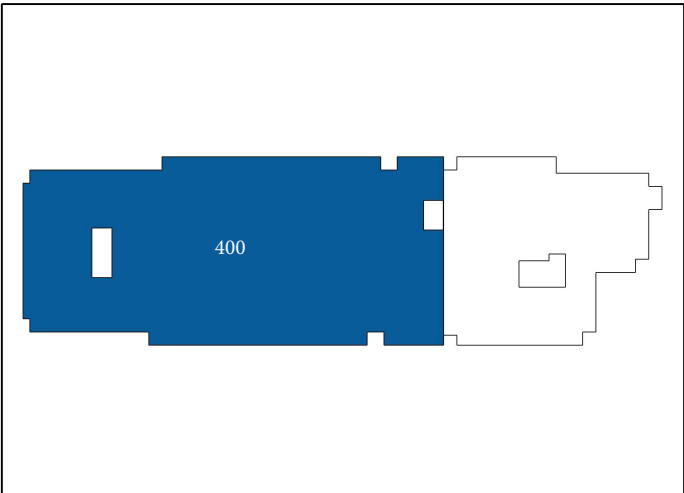
Date	Activity	Allocation	Urgency	Budget Cost \$
2023	Replacement	Capital	High	5,000

Due to the age and condition of the installed roofing assembly, roof replacement should be scheduled in the next 1-2 years or at the same time as the main roof level to ensure preferred pricing.

Roof Condition Report

Roof: 400

Building: 1204 Yates Str.



Roof System: Modified Bitumen
Estimated Install Date: 2005
Condition Index: Poor
Roof Access: Roof Hatch
Approx. Roof Sq. Ft.: 6,719
Height: 40'

Assessment: This roof level is approximately 15-20 years old. Signs of deterioration and some serious roofing deficiencies were noted. Roof replacement should be scheduled within the next 1-2 years.

Deficiencies & Overviews



Condition: Blister
Severity: High
Quantity: 1

Blisters are an indication that either air or moisture are trapped within the roofing system. Blisters will continue to grow and can easily be broken by foot traffic on the roof. +/-50 blisters were noted on the roof.



Condition: Blister 1
Severity: High
Quantity: 1

Another typical blister.



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Condition: Blister 2
Severity: High
Quantity: 1

More blisters in the modified bitumen membrane.



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Condition: Blister 3
Severity: High
Quantity: 1

Another large blister and water ponding.



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Condition: Blister 4
Severity: High
Quantity: 1

More blisters near the perimeter.



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Condition: Blister 5
Severity: High
Quantity: 1

More blistered roofing membrane and areas with water ponding.



Condition: Deteriorated membrane
Severity: High
Quantity: 1

Several areas with damaged/cracked membrane were noted throughout this roof level.



Condition: Deteriorated membrane 1
Severity: High
Quantity: 1

Another area near the perimeter with damaged membrane.



Condition: Deteriorated membrane 2
Severity: High
Quantity: 1

More damaged and cracked membrane.



Condition: Ridges
Severity: High
Quantity: 1

Another overview of the ridged and blistered membrane.



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Condition: Corrosion
Severity: Medium
Quantity: 1

View of a corroded/damaged soil stack that was noted on this roof level.



x

Condition: Drain- Strainer missing
Severity: Medium
Quantity: 1

The drain strainer is missing. Without the screen in place, roofing debris may be able to enter the drainage system and impede proper water flow.



x

Condition: Drain- Strainer missing 1
Severity: Medium
Quantity: 1

Another drain with missing drain guard.



x

Condition: Drain- Strainer missing 2
Severity: Medium
Quantity: 1

Another drain with missing drain guard.



Condition: Missing stack cap
Severity: Medium
Quantity: 1

There is a missing stack cap around this soil stack. This condition may be allowing water to enter the roofing assembly and/or building.



Condition: Missing stack cap 1
Severity: Medium
Quantity: 1

Another soil stack with missing cap.



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Condition: Debris on roof
Severity: Low
Quantity: 1

Areas of scattered rooftop debris were noted lying directly on the surface of the roof. All non-essential items should be immediately removed.



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Condition: Organic debris
Severity: Low
Quantity: 1

An accumulation of organic debris was noted on this roof level.

Roof Condition Report

Proposed Work

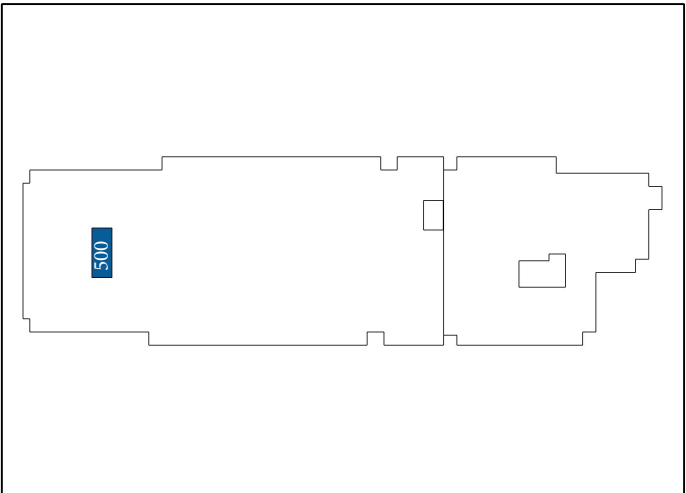
Date	Activity	Allocation	Urgency	Budget Cost \$
2023	Replacement	Capital	High	270,000

Due to the age and condition of the installed roofing assembly, roof replacement should be scheduled in the next 1-2 years.

Roof Condition Report

Roof: 500

Building: 1204 Yates Str.



Roof System: Modified Bitumen
Estimated Install Date: 2005
Condition Index: Poor
Roof Access: Exterior
Approx. Roof Sq. Ft.: 90
Height: 47'

Assessment: This roof level is approximately 20+ years old. Roof replacement should be scheduled within the next 1-2 years or at the same time as the main roof levels.

Deficiencies & Overviews



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Condition: Overview
Quantity: 1

Another view of the roof level.



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Condition: Overview1
Quantity: 1

Another view of the elevator penthouse roof.

Roof Condition Report

Proposed Work

Date	Activity	Allocation	Urgency	Budget Cost \$
2023	Replacement	Capital	High	5,000

Due to the age and condition of the installed roofing assembly, roof replacement should be scheduled in the next 1-2 years or at the same time as the main roof level to ensure preferred pricing.

Roof Condition Report

Total Capital Budgets

Building / Roof	2023	2024	2025	2026	2027
1204 Yates Str. / 100	117,000	0	0	0	0
1204 Yates Str. / 200	5,000	0	0	0	0
1204 Yates Str. / 300	5,000	0	0	0	0
1204 Yates Str. / 400	270,000	0	0	0	0
1204 Yates Str. / 500	5,000	0	0	0	0
Totals \$	402,000	0	0	0	0

Yearly Maintenance & Expenses Budget

Building / Roof	2023	2024	2025	2026	2027
1204 Yates Str. / 100	0	0	0	0	0
1204 Yates Str. / 200	0	0	0	0	0
1204 Yates Str. / 300	0	0	0	0	0
1204 Yates Str. / 400	0	0	0	0	0
1204 Yates Str. / 500	0	0	0	0	0
Totals \$	0	0	0	0	0

Budget Totals

Building / Roof	2023	2024	2025	2026	2027
1204 Yates Str. / 100	117,000	0	0	0	0
1204 Yates Str. / 200	5,000	0	0	0	0
1204 Yates Str. / 300	5,000	0	0	0	0
1204 Yates Str. / 400	270,000	0	0	0	0
1204 Yates Str. / 500	5,000	0	0	0	0
Totals \$	402,000	0	0	0	0

