

June 9, 2026

BC Residential Tenancy Branch
5021 Kingsway
Burnaby, BC
V5H 4A5

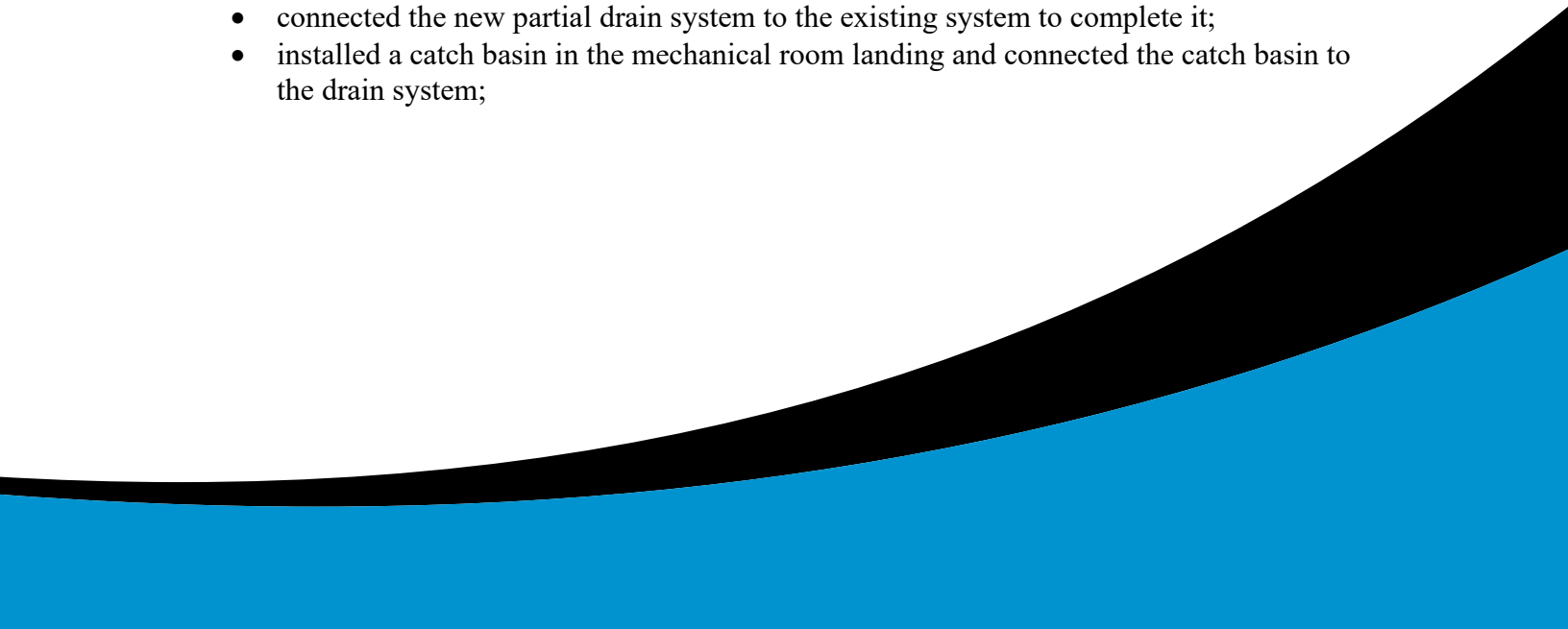
Dear Sirs/Madames:

Re: Additional Rent Increase Application for 1855 Fort Street, Victoria, British Columbia
(the “**Building**”)

I am the General Manager at Victoria Drain Services Ltd. (“**Victoria Drains**”). I am involved in business development and project management for Victoria Drains. Victoria Drains has over 20 years’ experience installing, repairing, and maintaining all forms of drainage systems for commercial, residential, and municipal buildings.

Victoria Drains was hired by CAPREIT Limited Partnership (“**CAPREIT**”) to replace the perimeter drainage system and resurface the parking lot at the Building. I oversaw the work completed by Victoria Drains at the Building.

Victoria Drains completed the following work at the Building:

- located the existing drainage system and removed concrete/asphalt as necessary to remove the existing system;
 - excavated down to the basement slab level, cleaned and inspected the exposed foundation walls, repaired any cracks, and applied a roll-on damp-proofing coat to the exposed foundation walls;
 - installed a partial two pipe, 4” PVC perimeter drain system (as per BC Building and Plumbing Code);
 - connected the new partial drain system to the existing system to complete it;
 - installed a catch basin in the mechanical room landing and connected the catch basin to the drain system;
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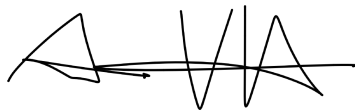
- inspected, cleaned, and flushed the rest of the drain system;
- repoured concrete over the new drain system (this included bedding and covering perforated pipes with cleaned crushed gravel, backfilling with crushed gravel and native soil, and installing new poured concrete to match the existing finish); and
- removed the asphalt from the parking lot and replaced it with new asphalt (3" thick).

The above-noted work at the Building was not due to insufficient or inadequate maintenance. No amount of maintenance can result in a building system, such as a drainage system or a parking lot surface, operating indefinitely. A perimeter drainage system typically has an estimated useful life of approximately 20 years and an asphalt parking surface has a similar estimated useful life. Prior to the replacement work, both the perimeter drainage system and the surface of the parking lot were both likely more than 20 years old based on a visual inspection, had met or exceeded their expected service life, and were therefore due for replacement.

Aside from regular maintenance and minor repair work, it is estimated that the above-noted work to the Building will not recur for at least 20 years. Please note that this is an estimate based on the typical expected service life of these building components and is not a warranty that the above-noted work will last at least 20 years. I provide this information solely for the assistance of the BC Residential Tenancy Branch in understanding the expected life of these types of building systems in general terms, and to explain that this work is expected to last over 5 years.

I am aware that this letter will be provided to the BC Residential Tenancy Branch by CAPREIT to provide information to the Tribunal with respect to the scope of the project in support of CAPREIT's application for an additional rent increase for the Building. This letter may not be used for any other purpose.

Sincerely,



Adam Holcombe
General Manager
Victoria Drain Services Ltd.