

PLANNING & DEVELOPMENT SERVICES
750 17th Street West Vancouver BC V7V 3T3
t: 604-925-7055 f: 604-925-6083



July 31, 2024

File: 1010-20-24-070

Adam Bodlack
300 - 1285 West Broadway,
Vancouver, BC V6H 3X8

Dear Adam Bodlack:

RE: Development Permit Exemption for 195 21st Street - Guardrail Replacement

Your application of July 24, 2024, to replace the guardrails on the building at 195 21st Street has been approved by the Acting Director of Planning & Development Services on July 30, 2024, subject to the following condition/s:

1. A building permit is obtained based on the proposed scope of work as per the Attachments enclosed.

If you have any further questions, please contact me at 604-921-3453 or at maroberts@westvancouver.ca.

Yours truly,

A handwritten signature in blue ink that reads "Megan Roberts".

Megan Roberts
Assistant Planner

Distributed to:

- (1) Alex Burzynski, Supervisor/Senior Plans Examiner
- (2) Mariela Siciliano, Plans Examiner
- (3) Neville York, Plans Examiner
- (4) Approved DPE File (Letter, Schedules & Memo)

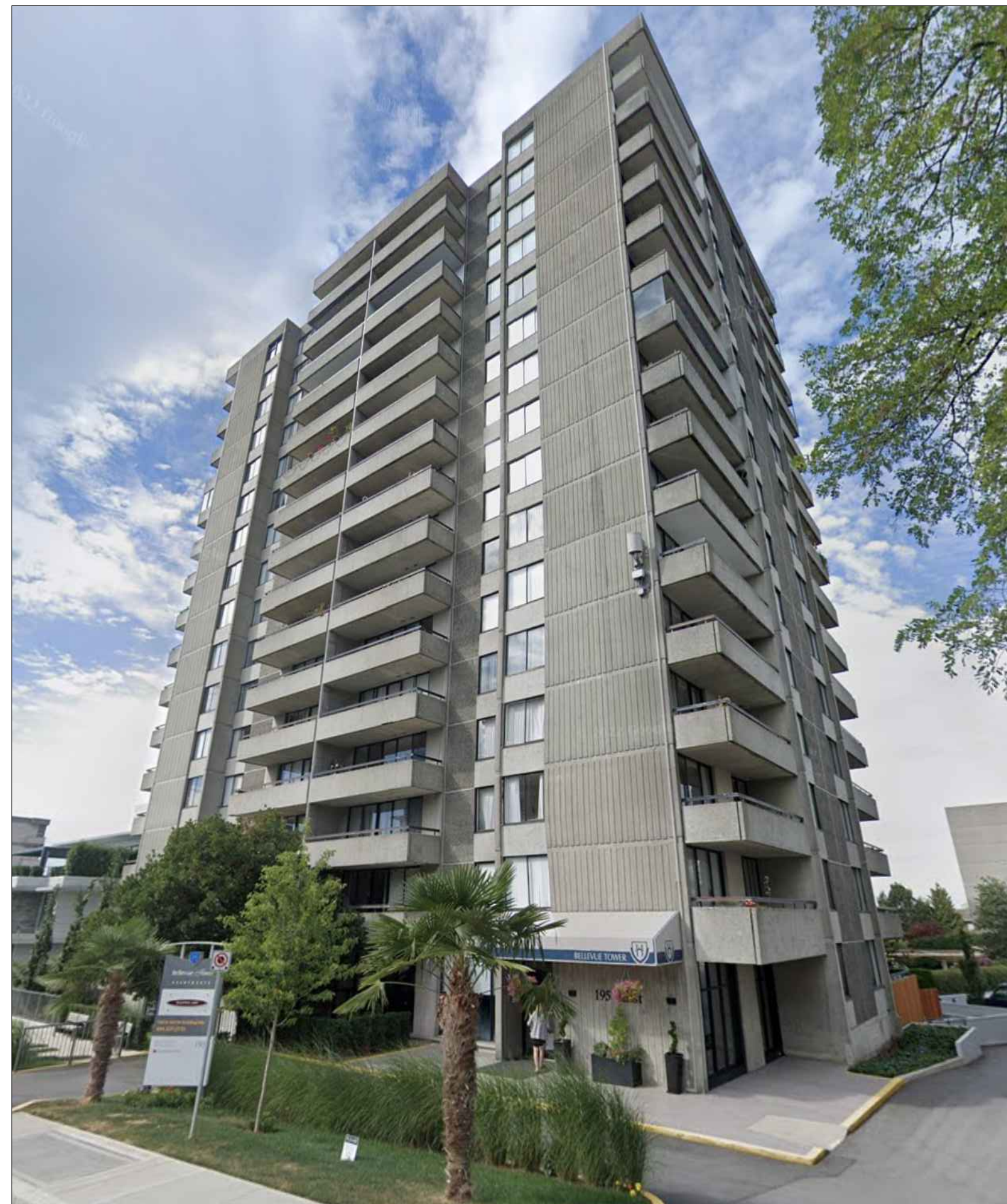
BALCONY RESTORATION

BELLEVUE TOWER WEST

195 21ST STREET, WEST VANCOUVER, BC, V7V 4A4

LIST OF DRAWINGS

R-0.0	- COVER PAGE
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R-2.1	- TYPICAL FLOOR PLAN
R-3.1	- EAST ELEVATION - EXISTING
R-3.2	- WEST ELEVATION - EXISTING
R-3.3	- NORTH AND SOUTH ELEVATIONS - EXISTING
R-3.4	- EAST ELEVATION - PROPOSED
R-3.5	- WEST ELEVATION - PROPOSED
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R-4.1	- TYPICAL DETAILS



EXISTING ELEVATION



PROPOSED ELEVATION

	ISSUED FOR DEVELOPMENT PERMIT	JUN. 26/24	IMC
	ISSUED FOR BUILDING PERMIT	MAY 29/24	IMC
No.	Revision	Date	By

Drawing Notes

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Seal

EGBC PERMIT TO PRACTICE NO. 1002503

Project Name

**BELLEVUE TOWER WEST -
BALCONY RESTORATION**

**195 - 21ST STREET,
WEST VANCOUVER, BC**

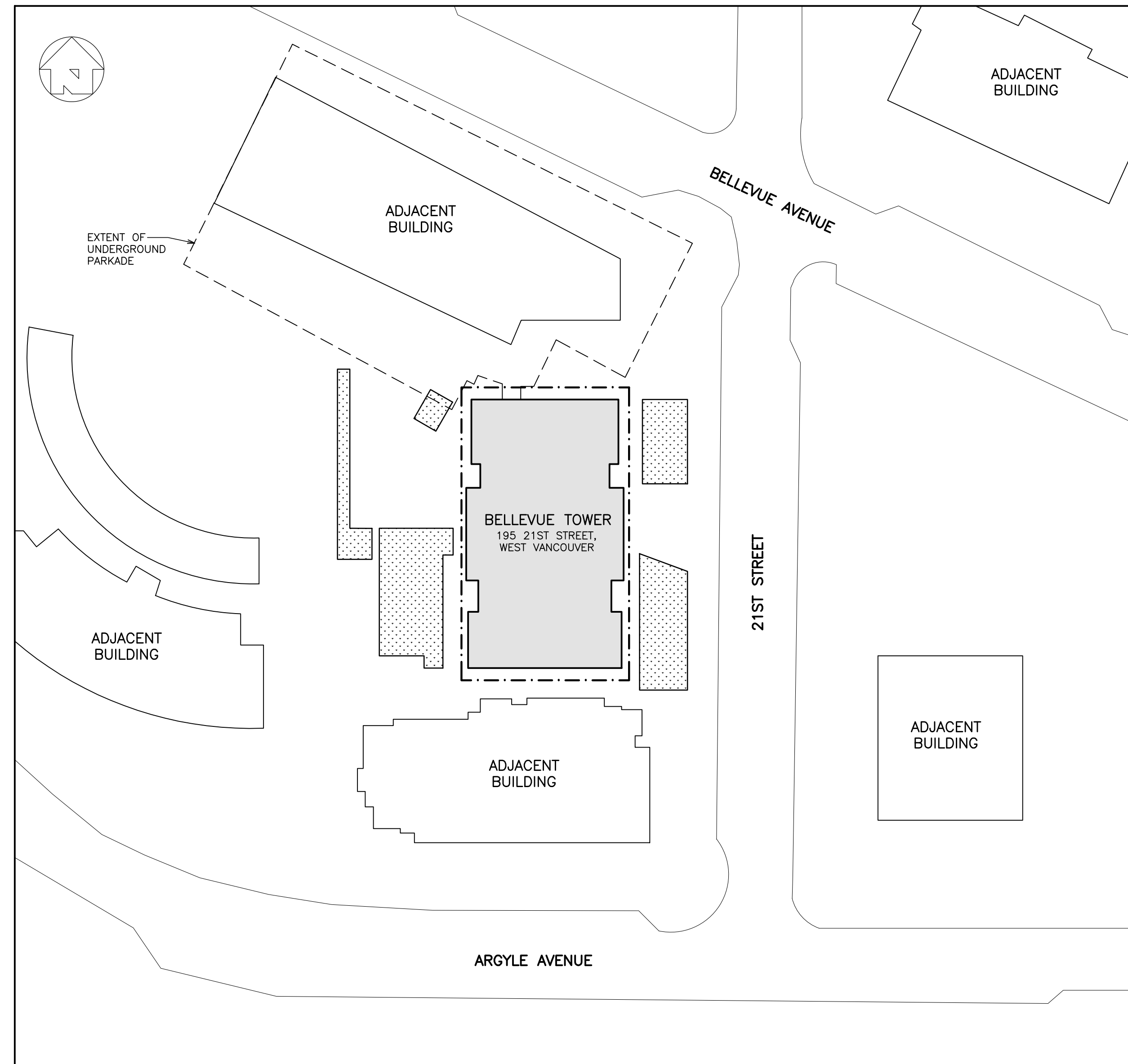
Sheet Title

COVER PAGE

Drawn By	TGa	Scale	AS SHOWN
Designed By	RFT	Date	JUNE 26, 2024
RJC Project Number	VAN.103256.0016		

Sheet Number Revision

R-0.0



SITE PLAN
N.T.S.

LEGAL DESCRIPTION
LEGAL DESCRIPTION: LOT C (EXPLANATORY PLAN 10675) OF LOT 13 BLOCKS 7 TO 12 DISTRICT LOT 775 PLAN 4595
CIVIC ADDRESS: 195 21ST STREET, WEST VANCOUVER, BC, V7V 4A4

LEGEND
- AREA OF WORK
- LANDSCAPING

NOTES:
1. SEE PLAN AND ELEVATIONS FOR AREAS OF WORK.
2. CONTRACTOR TO CONFIRM ALL CONDITIONS AND DIMENSIONS ON SITE.
3. REFER TO LANDSCAPING GENERAL NOTES ON R-1.1.
4. REFER TO ARBORIST REPORT FOR TREE PROTECTION PLAN.
5. CONTRACTOR TO OBTAIN REQUIRED STREET PERMITS.

STAGING
1. CONTRACTOR TO PROVIDE SAFE ACCESS TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY BE COMPROMISED OF: STAGING, SWING STAGES FALSE WORK, COMBINATIONS OF THE PRECEDING OR OTHER METHODS APPROVED BY WORKSAFEBC.
2. ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK. CONTRACTOR TO SUBMIT A PLAN OF THE BUILDING (PROVIDED) INDICATING THE TYPE OF ACCESS TO BE EMPLOYED ON EACH PORTION OF THE BUILDING.
3. ALL ACCESS SHALL BE CAPABLE OF RESISTING ITS DEAD LOAD AND THE LIVE LOAD OF THE WORKERS AND STORED MATERIALS. LIVE LOADING TO CONFORM TO CAN/CSA S269.2 M87, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1(B).
4. PHASING OF ACCESS IS ACCEPTABLE.
5. REFERENCE: BRITISH COLUMBIA OCCUPATIONAL HEALTH AND SAFETY REGULATION (REGULATION 296/97) PART 13.

GENERAL SCOPE OF WORK
1. REPAIR DELAMINATED CONCRETE ON BUILDING EXTERIOR.
2. REMOVE EXISTING PRE-CAST CONCRETE GUARD WALLS AND REPLACE WITH NEW ALUMINUM GUARDRAILS WITH GLASS INFILL PANELS.

LANDSCAPING GENERAL NOTES
1. ALL TREES AND LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION. CONTRACTOR IS RESPONSIBLE FOR TREE PROTECTION MEASURES.
2. WHERE EXISTING LANDSCAPING MAY BE AFFECTED BY PROPOSED WORK, CONTRACTOR WILL PROTECT WHERE POSSIBLE AND REPLACE/REPAIR ANY REMOVED/DAMAGED LANDSCAPING AND RETURN IT TO A STATE OF EQUAL OR HIGHER QUALITY TO WHAT WAS ORIGINALLY THERE.
3. NO TREE REMOVAL AUTHORIZED. STAGING TO BE SET BACK AWAY FROM TREES.
4. WORK OCCURRING WITHIN TREE PROTECTION ZONES ARE TO BE DONE UNDER ARBORIST SUPERVISION.
5. ANY NECESSARY PRUNING OF TREES OR VEGETATION TO BE DONE BY A CERTIFIED ARBORIST.
6. NO STORAGE OF ANY HEAVY MACHINERY, TOOLS, DEBRIS BINS, MATERIALS AND/OR EQUIPMENT IS PERMITTED UNDER THE DRIPLINE OF ANY SITE TREES (UNLESS UNDER ARBORIST SUPERVISION).

GENERAL
1. SECTION MARK SHOWN THUS MEANS SECTION #4 ON DRAWING S-3.
2. SEE DRAWINGS FOR FLOOR AND ROOF ELEVATIONS, RECESSES, DRAINAGE SLOPES, ETC.
3. THE GENERAL CONTRACTOR SHALL REVIEW ALL THE DRAWINGS AND CHECK DIMENSIONS BEFORE CONSTRUCTION. REPORT DISCREPANCIES BETWEEN STRUCTURAL AND OTHER DISCIPLINES DRAWINGS FOR CLARIFICATION.
4. CONCRETE WORK SHALL CONFORM TO CSA A23.1, CSA A23.2, CSA A23.3 AND REFERENCED DOCUMENTS.
5. DO NOT CUT OR DRILL ANY OPENINGS IN STRUCTURAL MEMBERS WITHOUT WRITTEN PERMISSION OF RJC.
6. DEFINITIONS: A. RJC: READ JONES CHRISTOFFERSEN OR ITS REPRESENTATIVE. B. GENERAL CONTRACTOR: FOR THE PURPOSES OF THESE DRAWINGS, THE USE OF THE TERM "CONTRACTOR" OR "GENERAL CONTRACTOR" SHALL REFER TO THE PRIME PERSON OR COMPANY RESPONSIBLE FOR CONSTRUCTION OF THE PROJECT AND THE COORDINATION OF TRADES AND SUBCONTRACTORS. THIS MAY BE THE GENERAL CONTRACTOR, OR A CONSTRUCTION MANAGER.
7. THIS SET OF DRAWINGS SHOWS THE COMPLETED PROJECT. IT DOES NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION, AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORM WORK, FALSE WORK, SHORING, ETC. REQUIRED TO COMPLETE THE WORK.
8. THE INFORMATION ON THIS DRAWING SHALL NOT BE USED FOR ANYTHING OTHER THAN THE SPECIFIED WORKS OR PART OF THE WORKS FOR WHICH IT HAS BEEN AUTHORIZED BY RJC.
9. THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISIONS COLUMN. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" IN THE REVISIONS COLUMN, AND SIGNED AND STAMPED BY AN ENGINEER OF RJC. THE DRAWINGS SHALL NOT BE USED FOR PRICING OR TENDER UNLESS SO INDICATED IN THE REVISIONS COLUMN.
10. RJC'S DRAWINGS, WHETHER IN ELECTRONIC FORMAT OR HARD COPY, MAY NOT BE USED AS OR MODIFIED TO PROVIDE SHOP DRAWINGS UNLESS: - RJC IS COMPENSATED FOR THE DRAWINGS AND - THE CONTRACTOR RESPONSIBLE FOR THE SHOP DRAWINGS SIGNS RJC'S STANDARD AUTHORIZATION AND WAIVER FORM.
11. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.
12. DO NOT OVERLOAD THE STRUCTURE. ENSURE ALL REASONABLE PRECAUTIONS ARE TAKEN TO PREVENT DAMAGE TO THE UNDERLYING STRUCTURES REMAINING IN PLACE. PROVIDE SHORING AS NECESSARY TO PREVENT OVERLOADING THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
11. CONTRACTOR TO ENSURE THAT EXISTING STRUCTURAL MEMBERS AND SERVICES ARE NOT DAMAGED THROUGH DEMOLITION, SAWCUTTING, HOLE AUGURING OR OTHER CONSTRUCTION ACTIVITIES.

FIELD REVIEW BY READ JONES CHRISTOFFERSEN (RJC)
1. READ JONES CHRISTOFFERSEN PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE STRUCTURAL DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS CONDUCTED WITH SUCH FREQUENCY AS RJC DEEMS APPROPRIATE TO OBSERVE VARIOUS STAGES OF THE WORK AND TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY READ JONES CHRISTOFFERSEN. FIELD REVIEW BY READ JONES CHRISTOFFERSEN IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE READ JONES CHRISTOFFERSEN GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. RJC SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. RJC WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON RJC'S DRAWINGS. THE EXTENT OF THIS REVIEW IS AT THE SOLE DISCRETION OF RJC'S ENGINEER AND IS FOR THE SOLE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE STRUCTURAL DESIGN CONCEPT. THE REVIEW IS NOT AN APPROVAL OF THE DESIGN, DETAILS, AND DIMENSIONS INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR OR SUBCONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR'S OR SUBCONTRACTOR'S RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
2. PROVIDE 24 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC.
3. THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE.

No.	Revision	Date	By
	ISSUED FOR DEVELOPMENT PERMIT	JUN. 26/24	IMC
	ISSUED FOR BUILDING PERMIT	MAY 29/24	IMC

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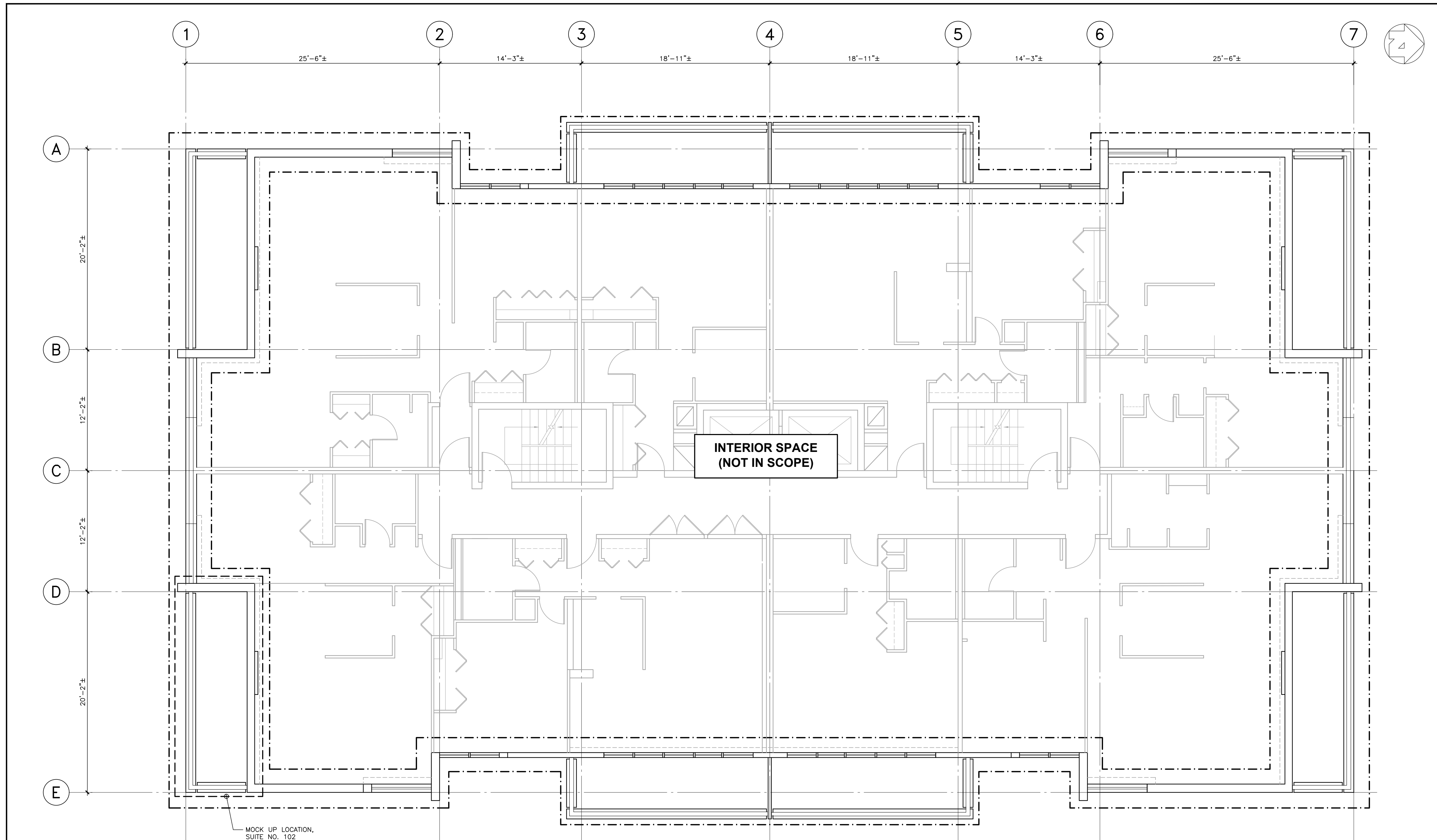
Project Name
BELLEVUE TOWER WEST - BALCONY RESTORATION

195 - 21ST STREET,
WEST VANCOUVER, BC

Sheet Title
SITE PLAN AND GENERAL NOTES

Drawn By	TGa	Scale	AS SHOWN
Designed By	RFT	Date	JUNE 26, 2024
RJC Project Number	VAN.103256.0016		

Sheet Number
R-1.1



1 TYPICAL FLOOR PLAN
2.1 3/16" = 1'-0"

LEGEND	
	AREA OF WORK
SCOPE OF WORK:	
1. REMOVE EXISTING PRE-CAST CONCRETE GUARD WALLS AND INSTALL NEW ALUMINUM GUARDRAILS WITH GLASS INFILL PANELS.	
2. REPAIR AREAS OF DELAMINATED CONCRETE. REFER TO CONCRETE REPAIR DETAILS 1/R-4.1 TO 5/R-4.1.	

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**BELLEVUE TOWER WEST -
BALCONY RESTORATION**

195 - 21ST STREET,
WEST VANCOUVER, BC

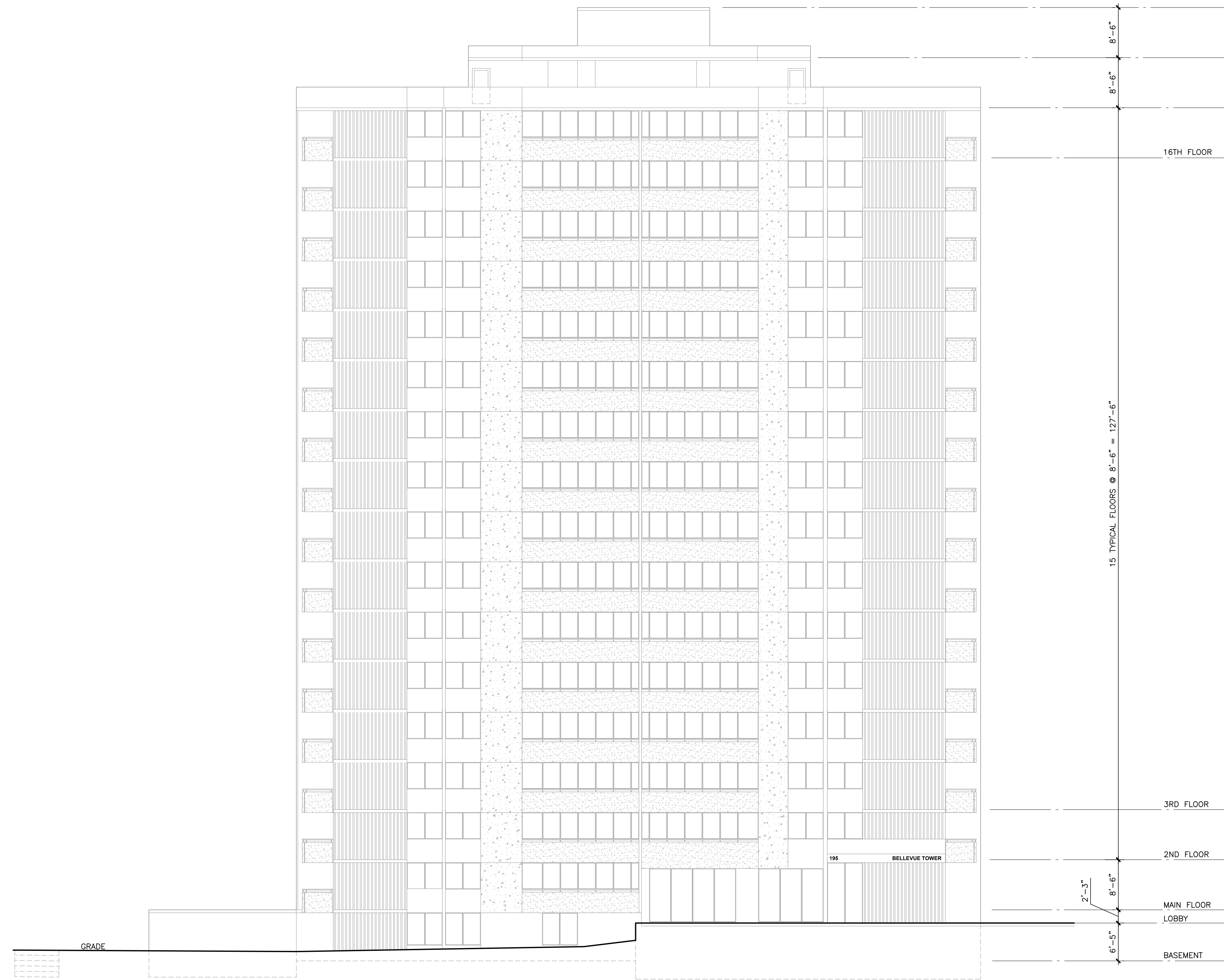
Sheet Title

TYPICAL FLOOR PLAN

Drawn By **TGa** Scale **AS SHOWN**
Designed By **RFT** Date **JUNE 26, 2024**

RJC Project Number **VAN.103256.0016**

Sheet Number **R-2.1** Revision



1 EAST ELEVATION
3.1 3/32" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT	JUN. 26/24	IMC	
ISSUED FOR BUILDING PERMIT	MAY 29/24	IMC	
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**BELLEVUE TOWER WEST -
BALCONY RESTORATION**

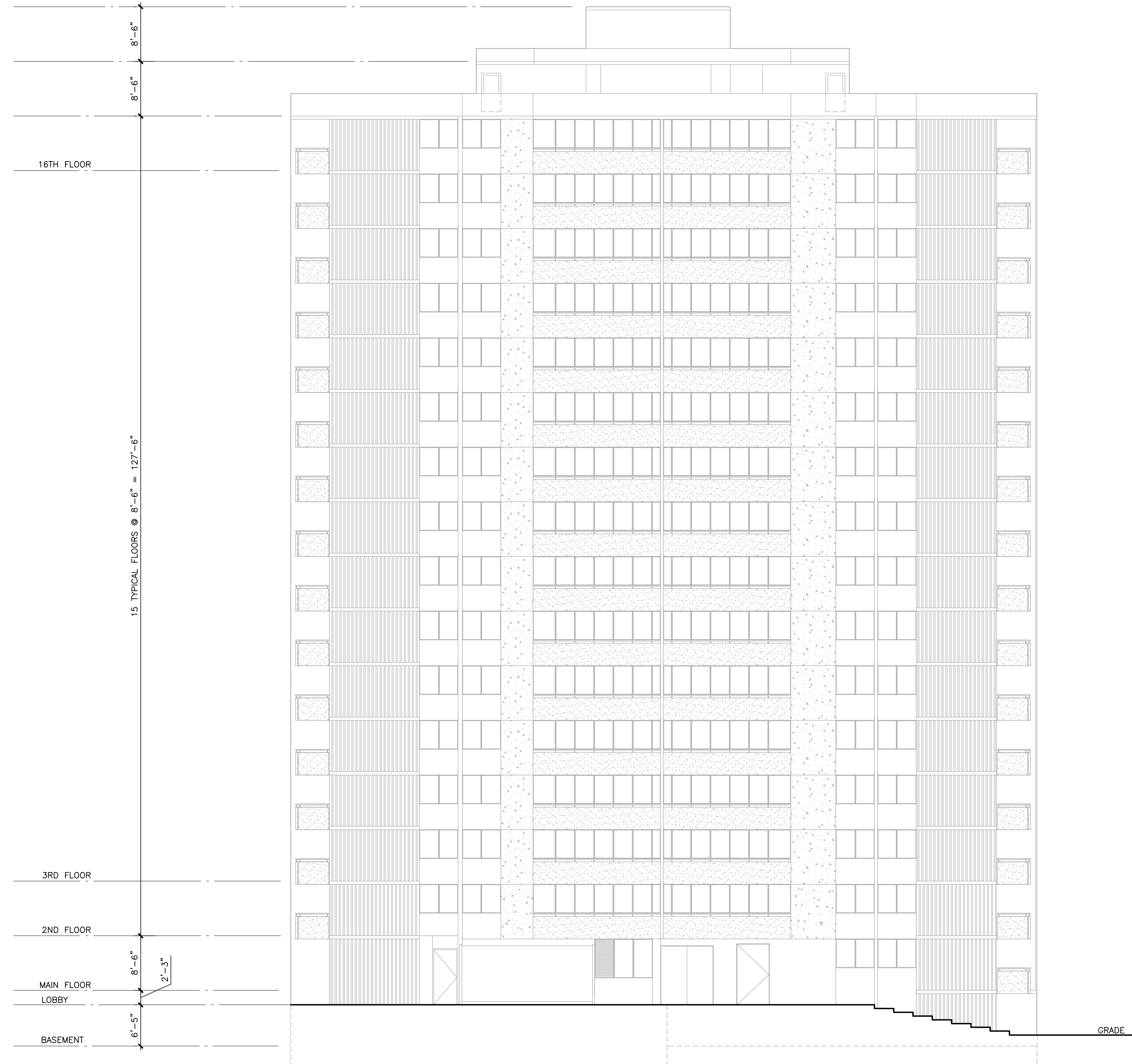
**195 - 21ST STREET,
WEST VANCOUVER, BC**

Sheet Title

EAST ELEVATION - EXISTING

Drawn By	TGa	Scale	AS SHOWN
Designed By	RFT	Date	JUNE 26, 2024
RJC Project Number	VAN.103256.0016		
Sheet Number	Revision		

R-3.1



1 WEST ELEVATION
3.2 3/32" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT	JUN. 26/24	IMC	
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Project Name

**BELLEVUE TOWER WEST -
BALCONY RESTORATION**

**195 - 21ST STREET,
WEST VANCOUVER, BC**

Sheet Title

WEST ELEVATION - EXISTING

Drawn By	TGa	Scale	AS SHOWN
Designed By	RFT	Date	JUNE 26, 2024
RJC Project Number	VAN.103256.0016		

Sheet Number Revision

R-3.2



2 NORTH ELEVATION
3.3 3/32" = 1'-0"

1 SOUTH ELEVATION
3.3 3/32" = 1'-0"

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Sheet Title

**NORTH AND SOUTH
ELEVATION - EXISTING**

Drawn By	TGa	Scale	AS SHOWN
Designed By	RFT	Date	JUNE 26, 2024
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Sheet Number	Revision		

R-3.3

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**BELLEVUE TOWER WEST -
BALCONY RESTORATION**

195 - 21ST STREET,
WEST VANCOUVER, BC

Sheet Title

**EAST ELEVATION -
PROPOSED**

Drawn By	TGa	Scale	AS SHOWN
Designed By	RFT	Date	JUNE 26, 2024
RJC Project Number	VAN.103256.0016		
Sheet Number	Revision		

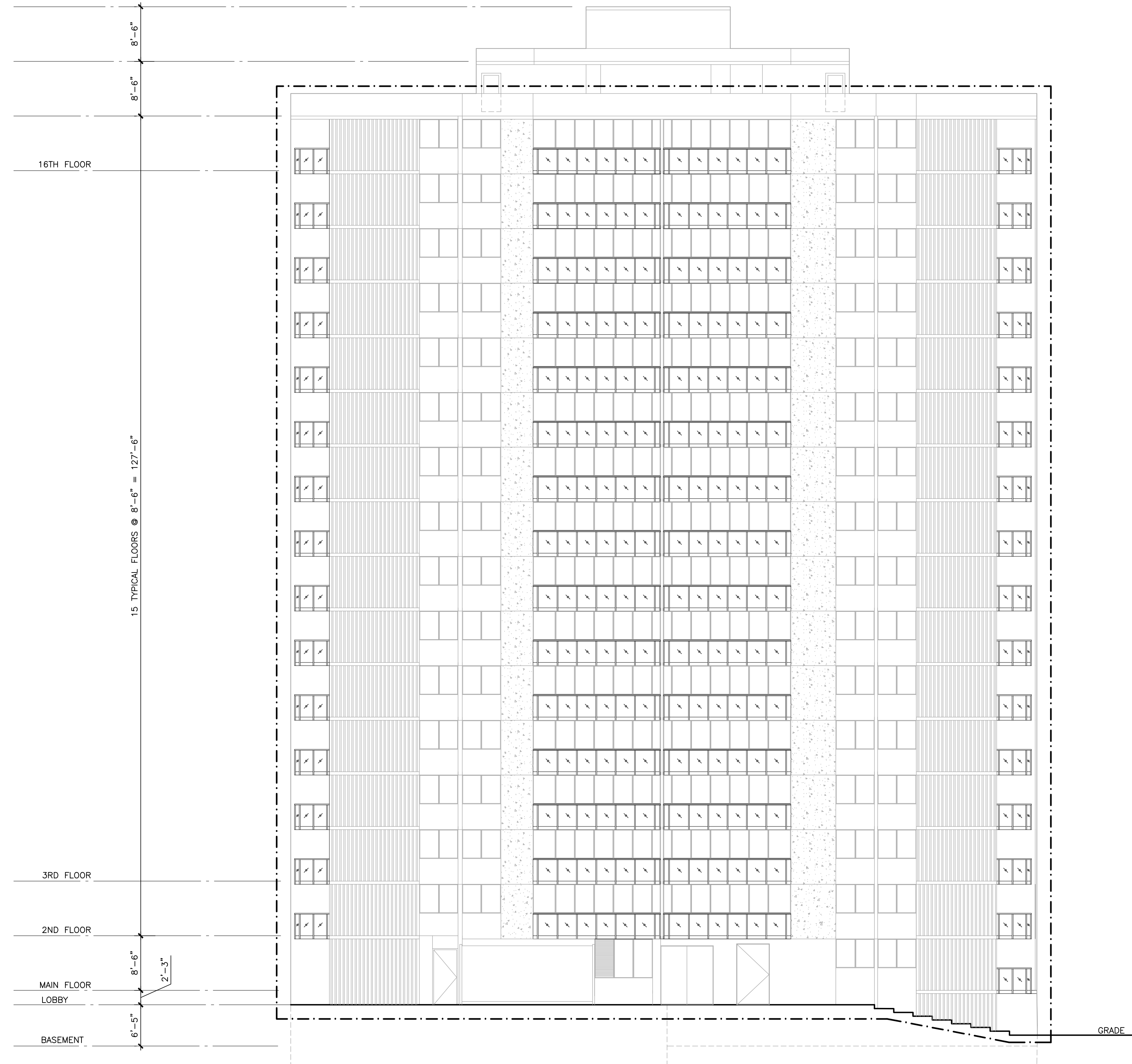
R-3.4



1 EAST ELEVATION
3.1 3/32" = 1'-0"

LEGEND	
	AREA OF WORK

SCOPE OF WORK:	
1.	REMOVE EXISTING PRE-CAST CONCRETE GUARD WALLS AND INSTALL NEW ALUMINUM GUARDRAILS WITH GLASS INFILL PANELS.
2.	REPAIR AREAS OF DELAMINATED CONCRETE. REFER TO CONCRETE REPAIR DETAILS 1/R-4.1 TO 5/R-4.1.



1 WEST ELEVATION
3.2 3/32" = 1'-0"

LEGEND	
	AREA OF WORK

SCOPE OF WORK:	
1.	REMOVE EXISTING PRE-CAST CONCRETE GUARD WALLS AND INSTALL NEW ALUMINUM GUARDRAILS WITH GLASS INFILL PANELS.
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Sheet Title

**WEST ELEVATION -
PROPOSED**

Drawn By	TGa	Scale	AS SHOWN
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Sheet Number Revision

R-3.5

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WEST VANCOUVER, BC

Sheet Title

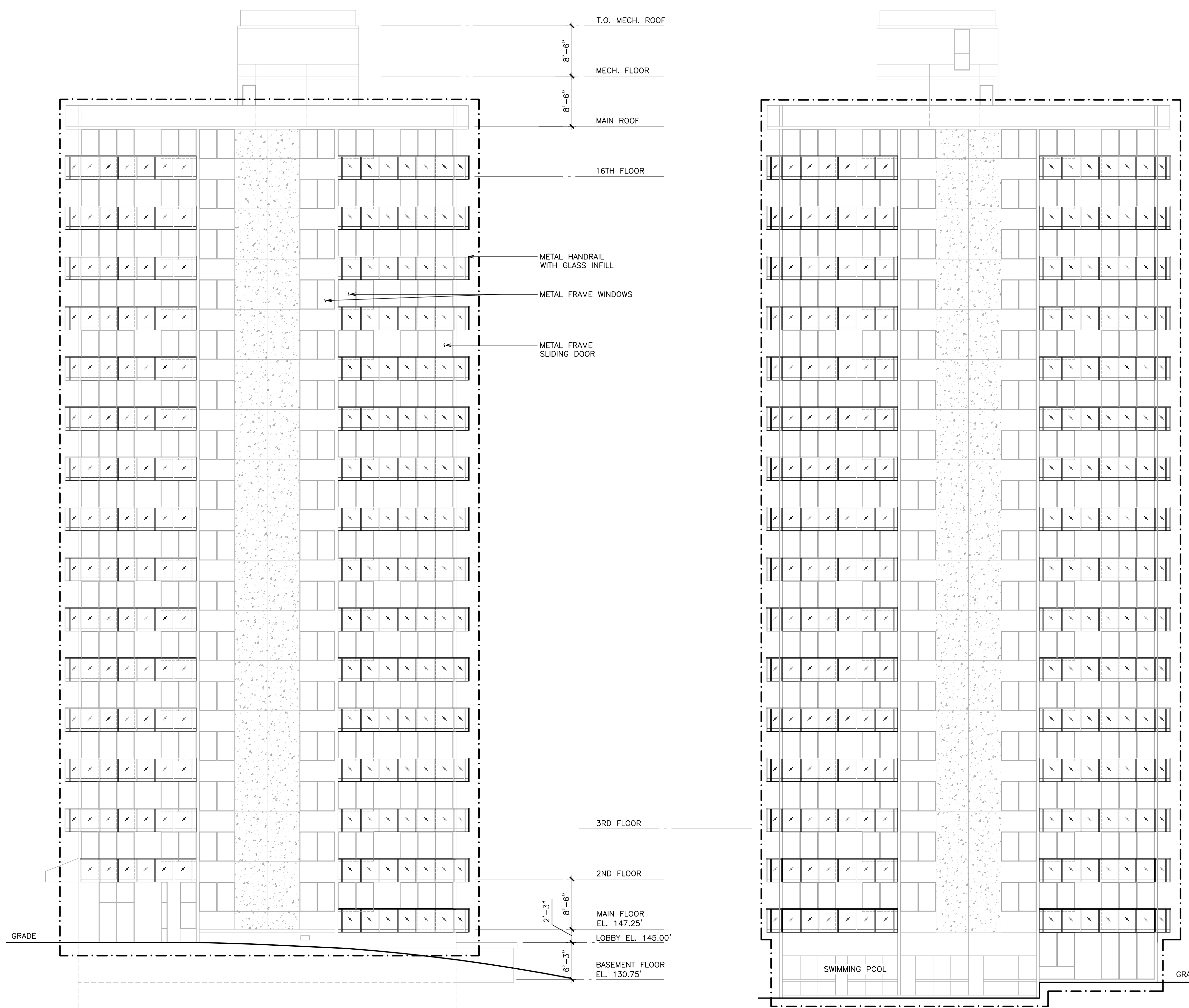
**NORTH AND SOUTH
ELEVATION - PROPOSED**

Drawn By Scale AS SHOWN
Designed By Date JUNE 26, 2024

RJC Project Number **VAN.103256.0016**

Sheet Number Revision

R-3.6

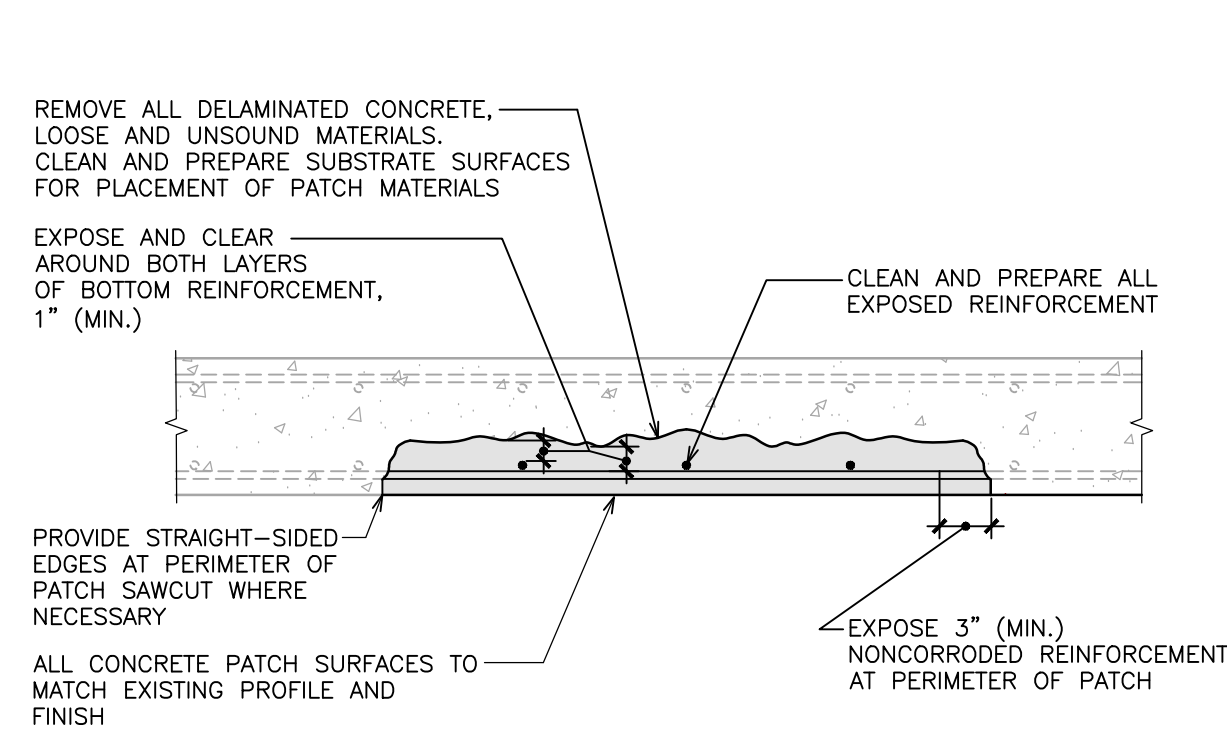


2 NORTH ELEVATION
3.3 3/32" = 1'-0"

1 SOUTH ELEVATION
3.3 3/32" = 1'-0"

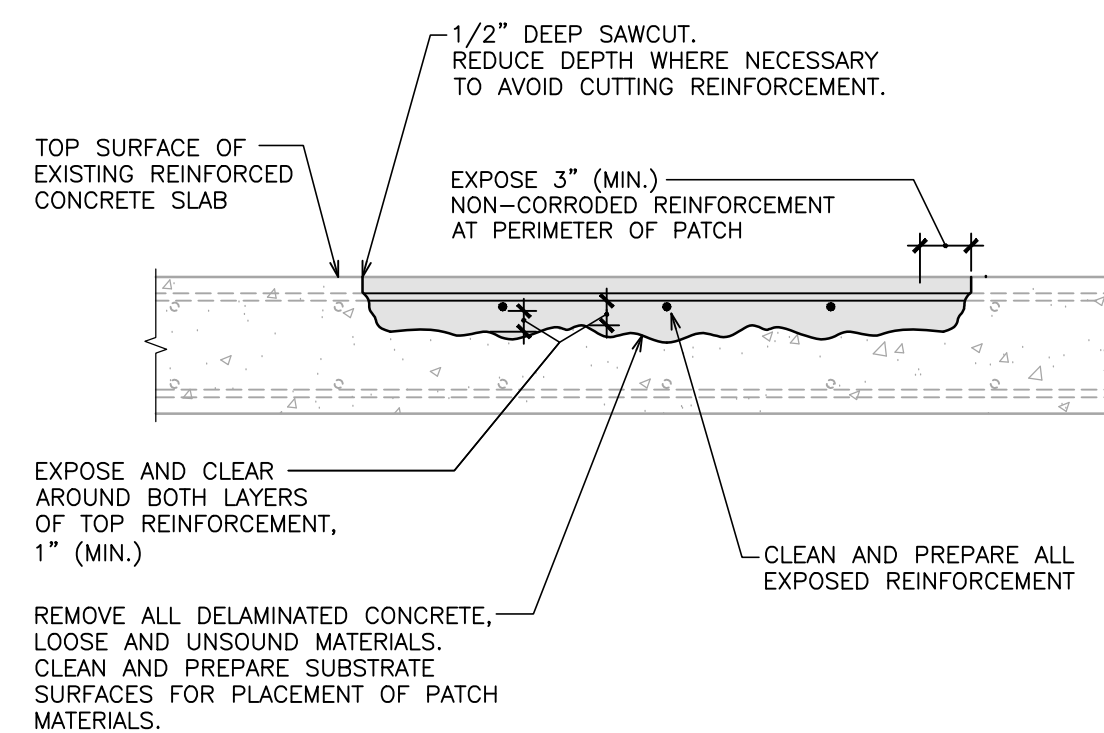
LEGEND	
	AREA OF WORK

SCOPE OF WORK:	
1.	REMOVE EXISTING PRE-CAST CONCRETE GUARD WALLS AND INSTALL NEW ALUMINUM GUARDRAILS WITH GLASS INFILL PANELS.
2.	REPAIR AREAS OF DELAMINATED CONCRETE. REFER TO CONCRETE REPAIR DETAILS 1/R-4.1 TO 5/R-4.1.



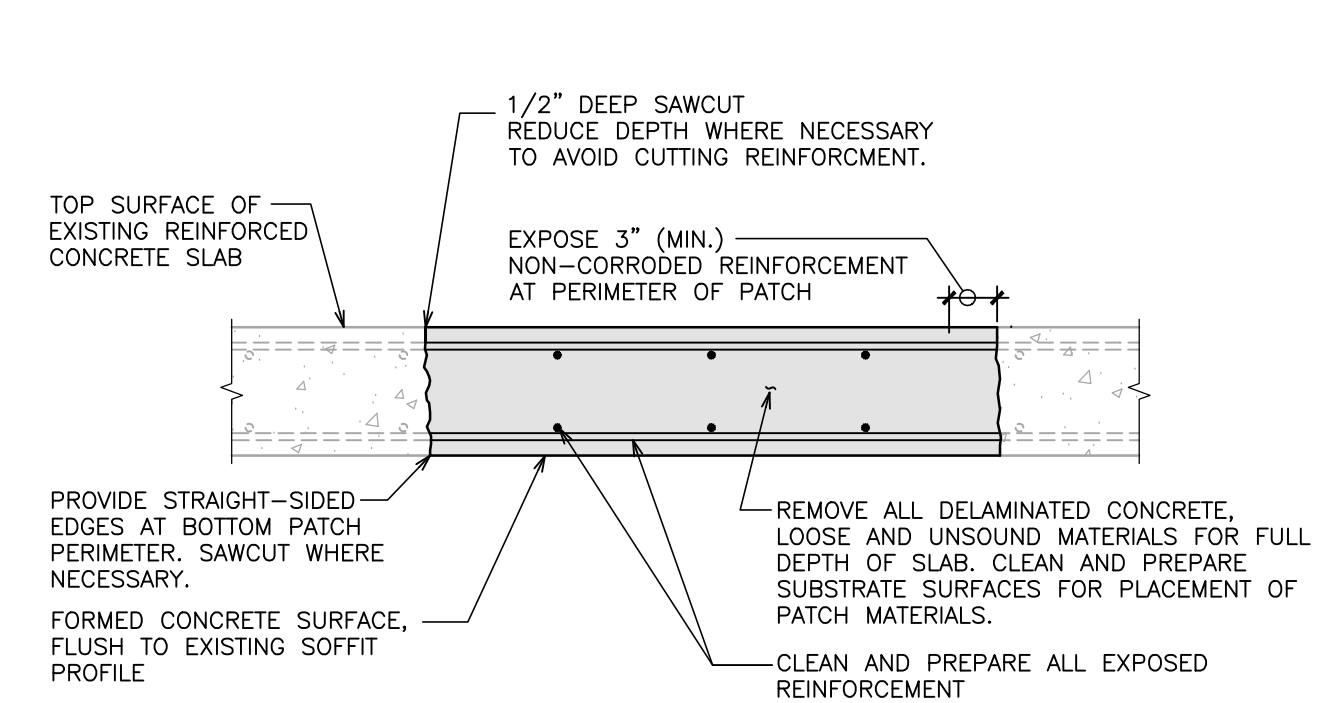
CAUTION: BEFORE STARTING REMOVAL OF CONCRETE, REVIEW WITH RJC THE EFFECTS OF DEMOLITION ON STRUCTURAL INTEGRITY. PROVIDE SHORING OF MEMBERS AS NECESSARY.

3
4.1 TYPICAL BOTTOM SURFACE (SOFFIT) DELAMINATION REPAIR DETAIL
N.T.S.



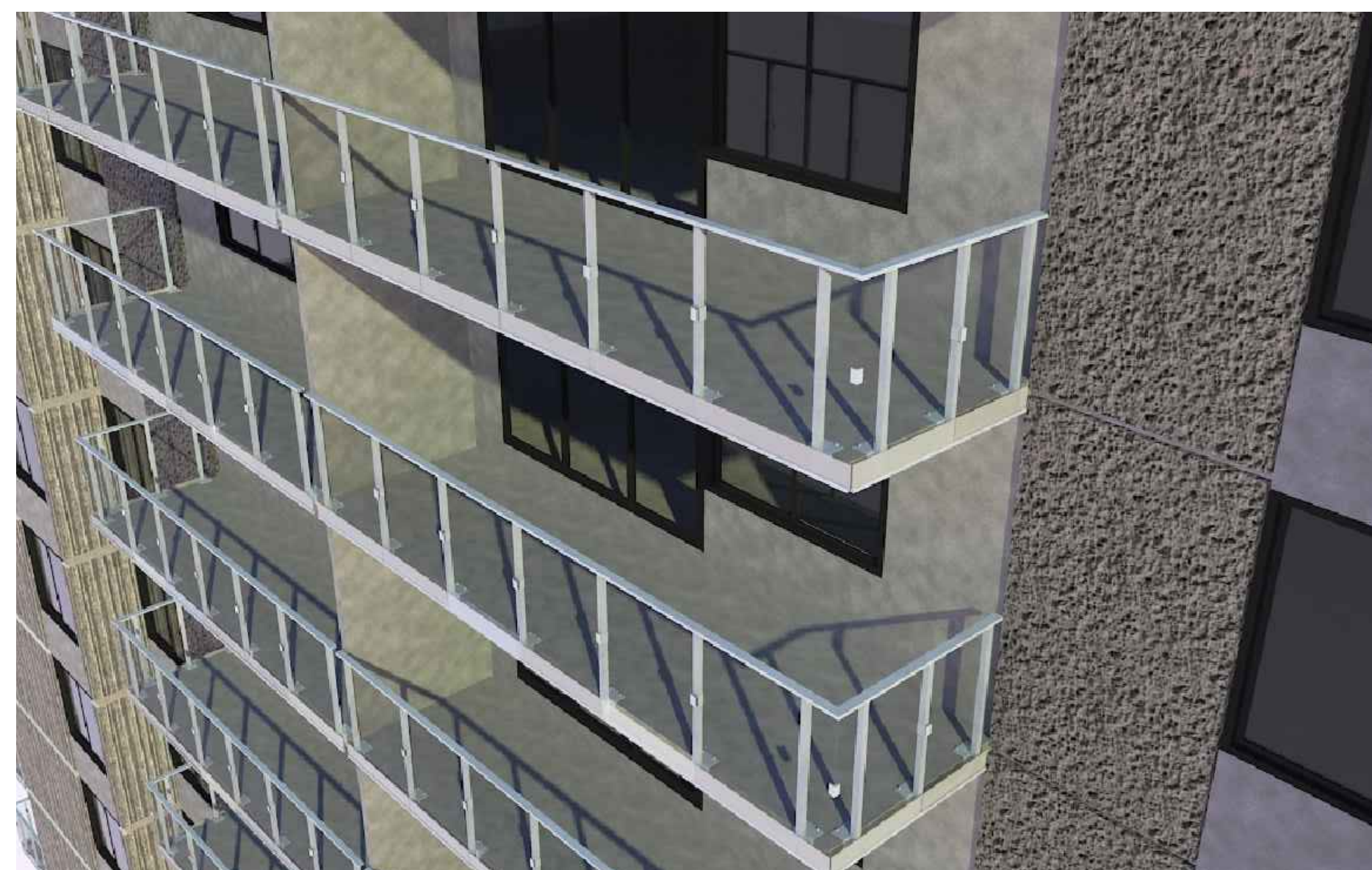
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2
4.1 TOP SURFACE DELAMINATION REPAIR DETAIL
N.T.S.

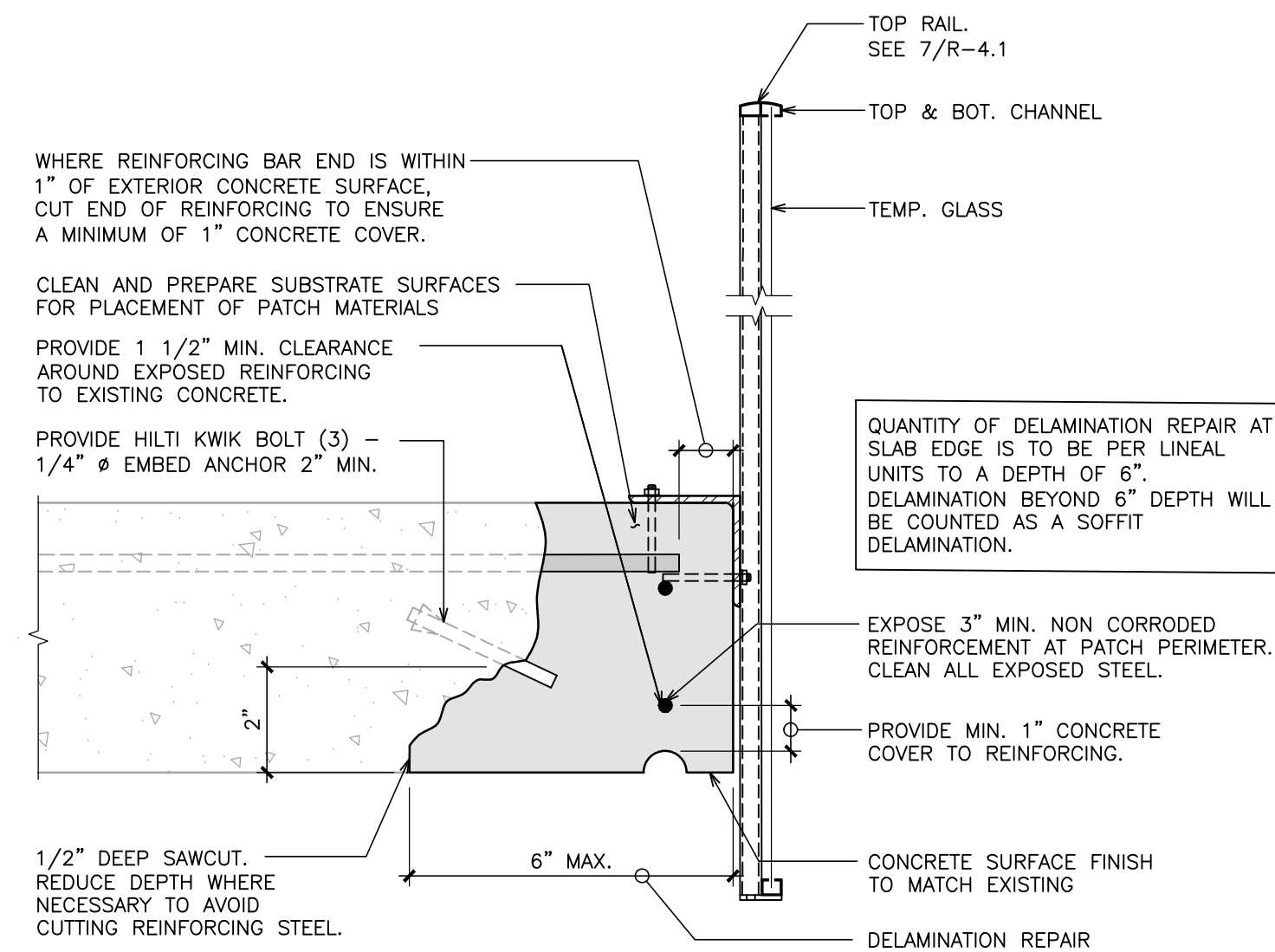


CAUTION: BEFORE STARTING REMOVAL OF CONCRETE, REVIEW WITH RJC THE EFFECTS OF DEMOLITION ON STRUCTURAL INTEGRITY. PROVIDE SHORING OF MEMBERS AS NECESSARY.

1
4.1 FULL DEPTH SLAB DELAMINATION REPAIR DETAIL
N.T.S.

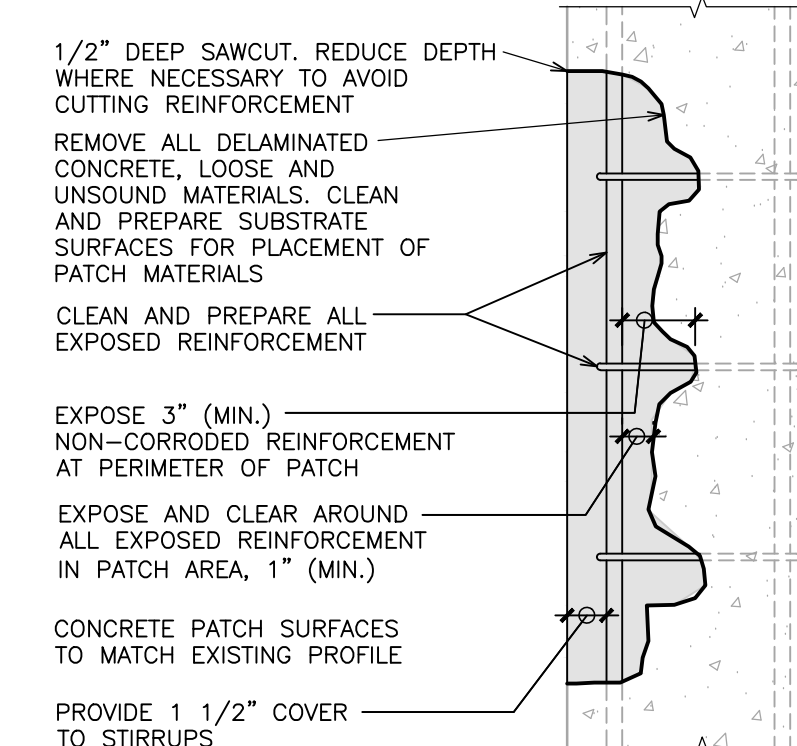


6
4.1 TYPICAL BALCONY GUARDRAIL CONCEPT
N.T.S.



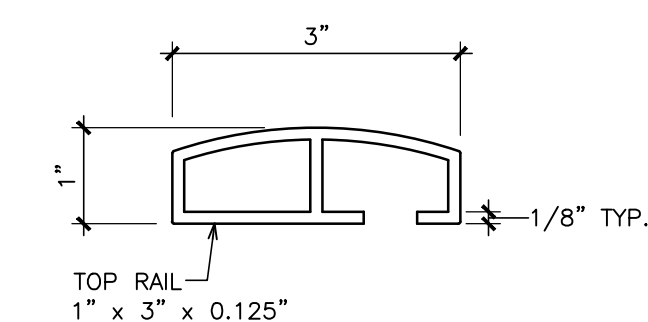
CAUTION: BEFORE STARTING REMOVAL OF CONCRETE, REVIEW WITH RJC THE EFFECTS OF DEMOLITION ON STRUCTURAL INTEGRITY. PROVIDE SHORING OF MEMBERS AS NECESSARY.

5
4.1 SLAB EDGE DELAMINATION REPAIR DETAIL
N.T.S.



CAUTION: BEFORE STARTING REMOVAL OF CONCRETE, REVIEW WITH RJC THE EFFECTS OF DEMOLITION ON STRUCTURAL INTEGRITY. PROVIDE SHORING OF MEMBERS AS NECESSARY.

4
4.1 TYPICAL VERTICAL SURFACE DELAMINATION REPAIR DETAIL
N.T.S.
(NOTE: WALL REPAIR SIMILAR)



7
4.1 TOP RAIL PROFILE
6"=1'-0"

ISSUED FOR DEVELOPMENT PERMIT	JUN. 26/24	IMC	
ISSUED FOR BUILDING PERMIT	MAY 29/24	IMC	
No.	Revision	Date	By

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
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Seal



EGBC PERMIT TO PRACTICE NO. 1002503

Project Name

BELLEVUE TOWER WEST - BALCONY RESTORATION

195 - 21ST STREET,
WEST VANCOUVER, BC

Sheet Title

TYPICAL DETAILS

Drawn By **TGa** Scale **AS SHOWN**
Designed By **RFT** Date **JUNE 26, 2024**
RJC Project Number **VAN.103256.0016**

Sheet Number **R-4.1** Revision