

Vincent Cummings

RR Roof Rider Ltd

Jan 29, 2026 | 27 Photos



# 855 Vancouver Street - Summary of the Roof Condition

Bruce asked us to quote this project in Feb 2024

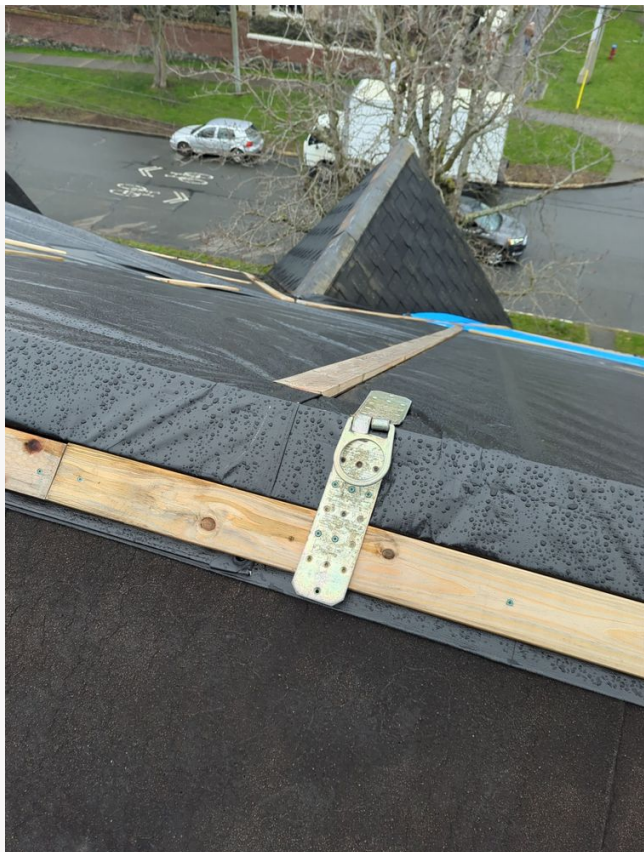


Project: Burdette Apartment Holdings Ltd.  
Date: Feb 15, 2024, 10:23 AM

The main facet of the roof was under a very large tarp.



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Date: Feb 15, 2024, 11:03 AM



The tarp from above.

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The gutters and downspouts were well passed the end of their service life.  
The shingles were also well passed their service life.

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Date: Feb 15, 2024, 10:35 AM



As you can see here the shingles were de-granulated and curling up. Definitely in need of replacement. The skylight was also well passed it service life.

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Date: Feb 15, 2024, 10:38 AM



This storage shed was in similiar condition and needed to be re-roofed.

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Date: Feb 15, 2024, 10:39 AM



- This skylight was passed it's service life
- The flat roof was aged and needing replacement

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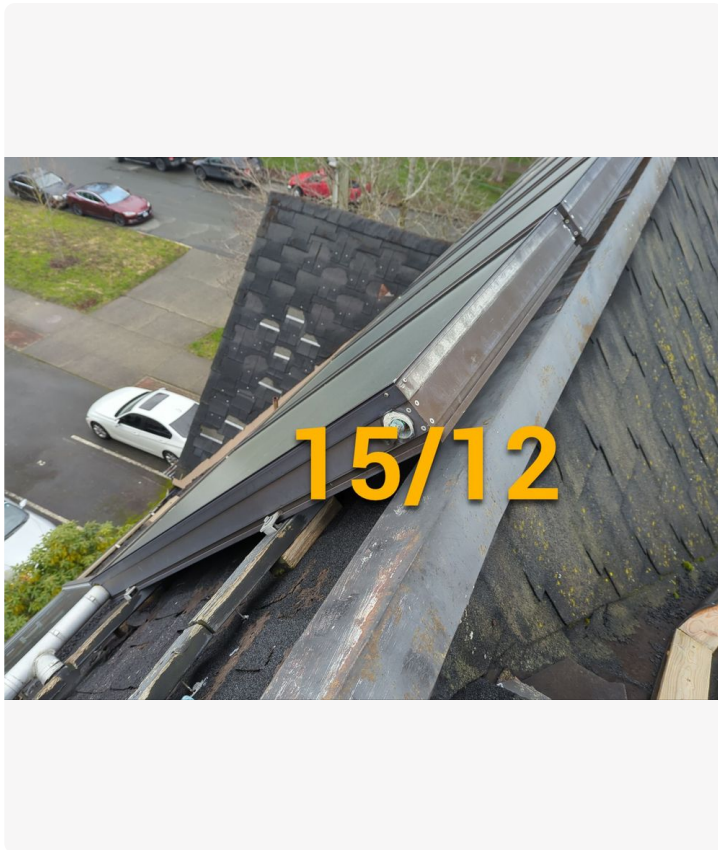
Date: Feb 15, 2024, 10:44 AM



- The chimney needed repointing and a new cap
- The vent was rusty and non-fuctional

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Date: Feb 15, 2024, 10:45 AM



These solar panels were no longer needed but a difficult installation to remove safely.

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Date: Feb 15, 2024, 10:45 AM



There was a lot of water damage to leading edges of the roof + the sheathing.

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Date: Feb 15, 2024, 10:50 AM



Many boards had to be replaced once we started the installation.

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Date: Sep 24, 2024, 3:05 PM



Project: Burdette Apartment Holdings Ltd.

Date: Sep 24, 2024, 3:20 PM



Project: Burdette Apartment Holdings Ltd.  
Date: Oct 22, 2024, 2:03 PM



This fire escape needed a lot of work to keep it functional for the long term.

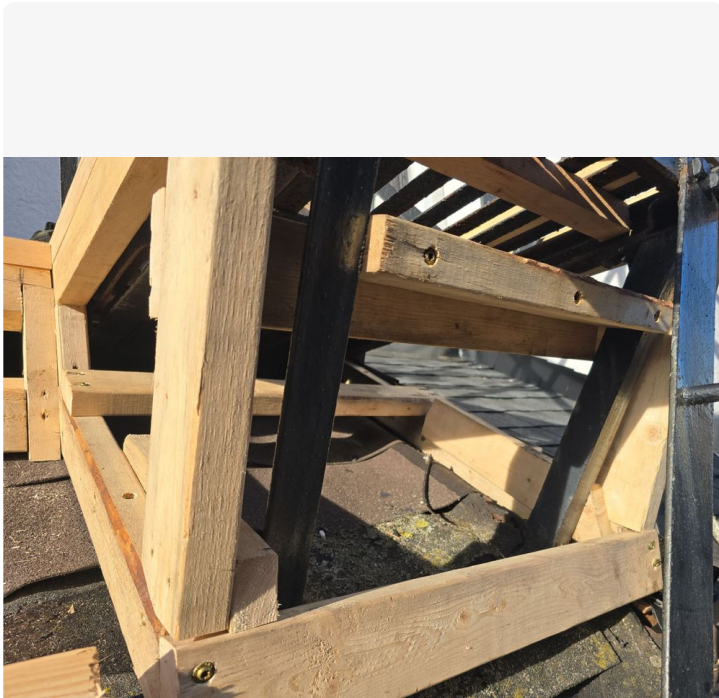
Project: Burdette Apartment Holdings Ltd.  
Date: Sep 10, 2024, 2:10 PM



The bottom had been left open and was leaking.  
This could have lead to structural issues in the long term.

Project: Burdette Apartment Holdings Ltd.

Date: Sep 24, 2024, 6:17 PM



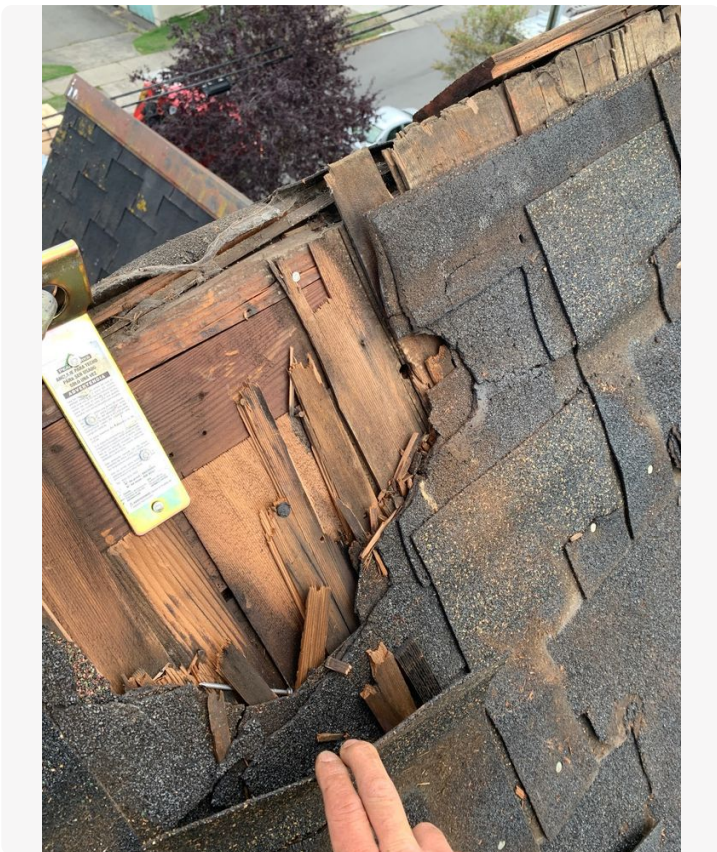
We addressed this by closing the area off and reinforcing it.

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Date: Dec 3, 2024, 11:37 AM

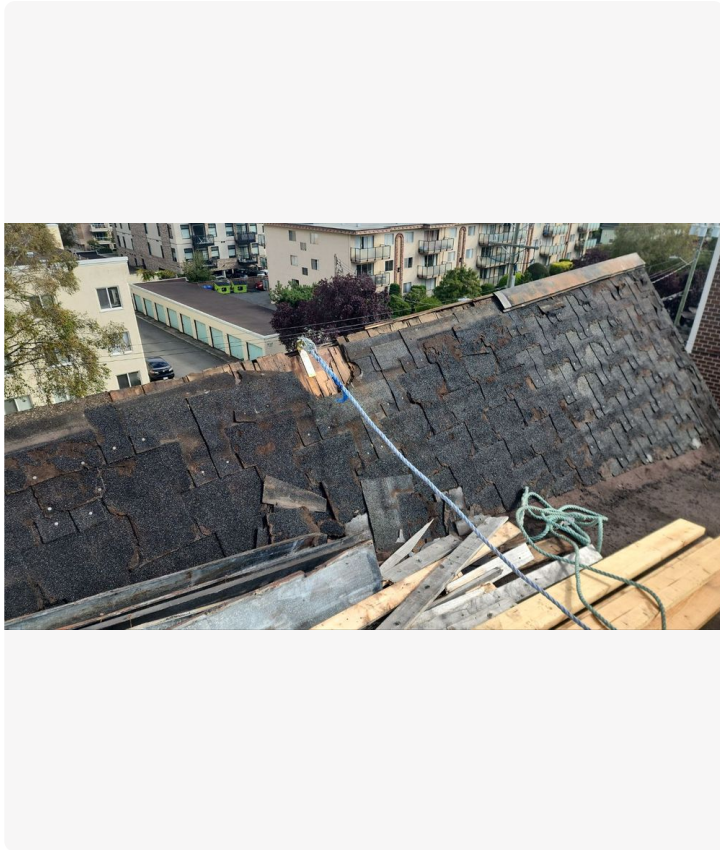


Project: Burdette Apartment Holdings Ltd.  
Date: Dec 4, 2024, 4:12 PM



There were 3 layers of roofing to be removed on this project. A lot of work and disposal costs. Especially since you cannot mix wood and asphalt anymore for the landfill.

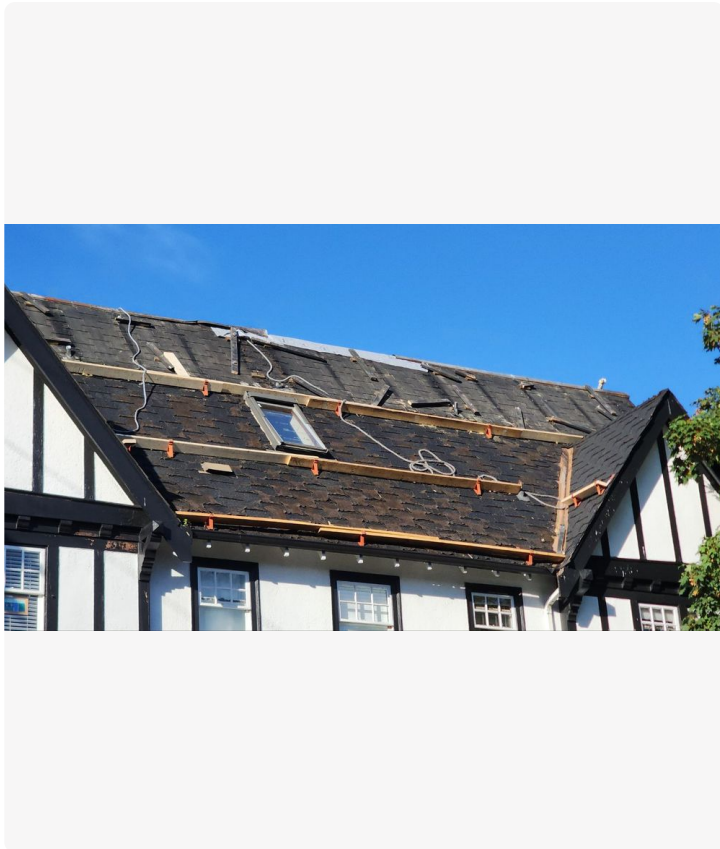
Project: Burdette Apartment Holdings Ltd.  
Date: Sep 20, 2024, 9:32 AM



You can see the condition of the shingles + the many layers here.

Project: Burdette Apartment Holdings Ltd.

Date: Sep 20, 2024, 10:35 AM



A very steep roof = difficult installation + safety measures such as scaffolding, flagging, closing walkways, permits..etc

Project: Burdette Apartment Holdings Ltd.

Date: Sep 20, 2024, 4:56 PM



Much of the lower edges of the siding were damaged and needed to be mitigated for the new roof.

Project: Burdette Apartment Holdings Ltd.

Date: Sep 24, 2024, 10:20 AM



To mitigate the damaged edges of the walls we had to install a lot of new flashings.

Project: Burdette Apartment Holdings Ltd.

Date: Oct 2, 2024, 3:58 PM

New skylight curbs had to be built.



Project: Burdette Apartment Holdings Ltd.

Date: Oct 15, 2024, 3:07 PM

The flat roof required a 3 ply system (versus the standard 2 ply) to accomodate the aged, uneven planking it was on.



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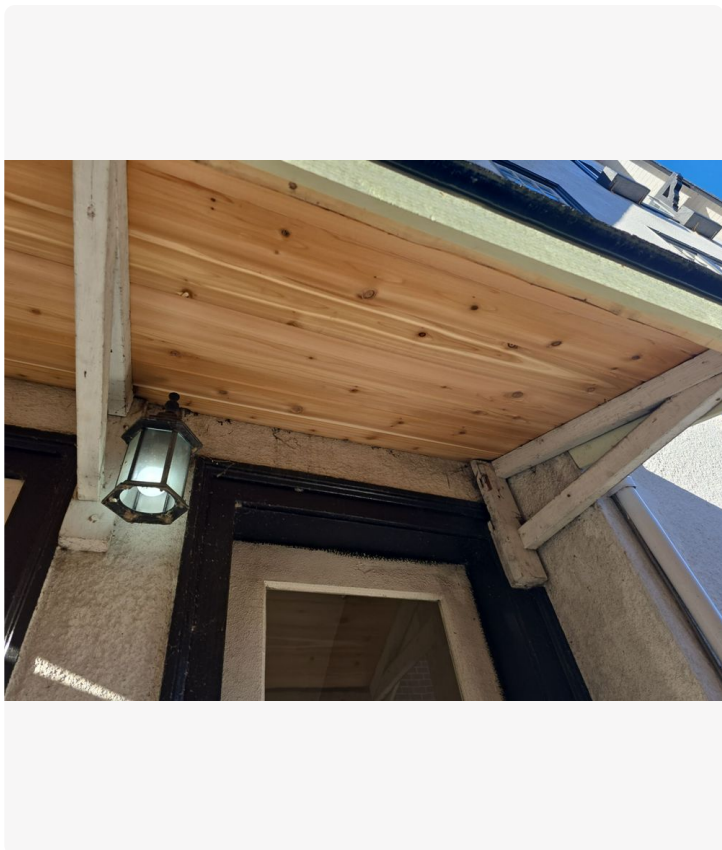
Date: Oct 23, 2024, 4:11 PM



All these drain corners were rotted out and required a reasonable amount of repairs.

Project: Burdette Apartment Holdings Ltd.

Date: Nov 25, 2024, 1:41 PM



The lower awning roof required rebuilding.

Project: Burdette Apartment Holdings Ltd.

Date: Dec 8, 2024, 11:43 AM



**Summary of the roof condition when we first quoted (Feb 2024)**

When we first attended to quote this project, the roof system was already in a failure state and much of the main roof area was under a large tarp, indicating active or imminent leakage. The asphalt shingles were well past service life, with widespread granule loss and curling, and the drainage components (gutters/downspouts) were also past end-of-life. Multiple related components were deteriorated at the same time — skylights, flat roofing, venting, chimney detailing — and there were visible signs of water impact at vulnerable edges and transitions, making this a full-system replacement/rehabilitation rather than a “simple re-roof.”

**Key findings observed at time of quote**

- Main roof facet covered by a large tarp (active leak mitigation already in place).
- Shingles heavily worn: degranulated, curling, and beyond service life.

Project: Burdette Apartment Holdings Ltd.  
Date: Nov 29, 2024, 11:47 AM